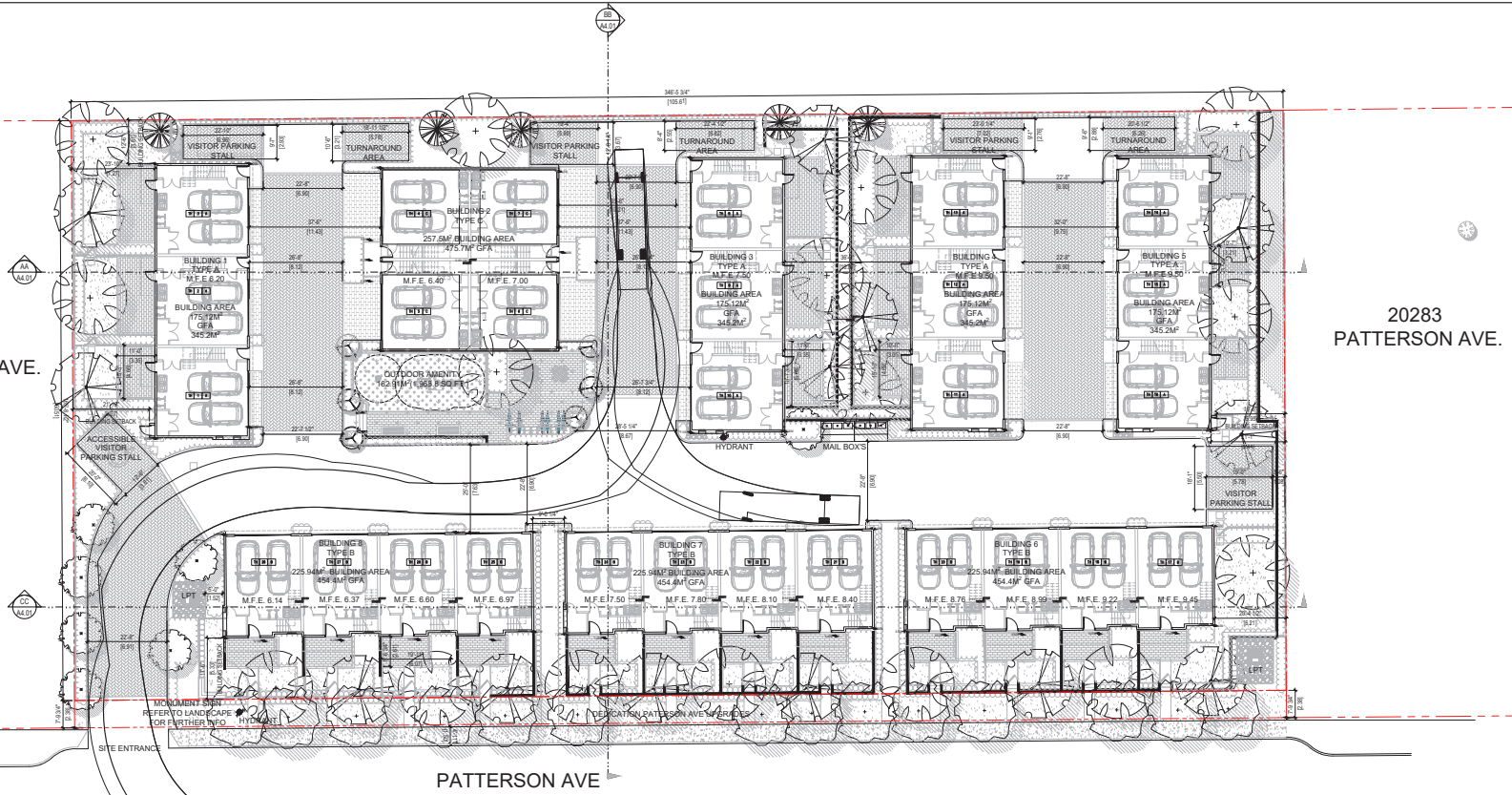


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THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.

20217
PATTERSON AVE.

20283
PATTERSON AVE.



REV.	DATE	DESCRIPTION
3	2025/10/22	RE-ISSUED FOR BUILDING PERMIT
2	2025/10/10	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

CONSULTANT SEAL

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DRAWN BY: NZ PROJECT: AS
PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: SITE PLAN

PROJECT NUMBER: 23-043 DRAWING NUMBER: A1.1
SCALE: 1/16" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10

01 ARCHITECTURAL SITE PLAN FULL
SCALE: 1/16" = 1'-0"

PROJECT STATISTICS

AUTHORITY HAVING JURISDICTION CITY OF MAPLE RIDGE	
CIVIC ADDRESS 20257, PATTERSON AVE.	
LEGAL DESCRIPTION LT 52 DL 222: NWD; PL: NWP58806 LT 51 DL 222: NWD; PL: NWP58806 LT 50 DL 222: NWD; PL: NWP58806	
ZONING CURRENT: RS-1 PROPOSED: RM-1	
LAND USE CURRENT: LOW DENSITY RESIDENTIAL PROPOSED: LOW DENSITY RESIDENTIAL	
SITE AREA GROSS SITE AREA: 5,566.4M ² (60.132 SQ. FT.) (1.38 ACRE) DEDICATIONS: 251.3M ² 2,705 SQ. FT. NET SITE AREA (DEVELOPMENT AREA): 5,335.1M ² 57,427 SQ. FT.	
DEDICATIONS ROAD DEDICATION PATTERSON: 251.3M ² 2,705 SQ. FT.	
NET SITE AREA DEVELOPMENT AREA: 5,335.1M ² 57,427 SQ. FT. (1.32 ACRE)	
PROJECT TOTAL UNIT TOTAL: 28	

LOT STATISTICS

NET SITE AREA 5,335.1M ² 57,427 SQ. FT. (1.32 ACRE)	
LOT COVERAGE MAXIMUM ALLOWED: N/A PROPOSED LOT COVERAGE: 29.7% 1612.8 m ² (17,360 SQ. FT.)	
BUILDING HEIGHT ALLOWABLE: 9.5M PROPOSED: 9.42M BUILDING HEIGHT VARIANCE REQUIRED FOR BUILDING C PROPOSED: 9.65M	
SETBACKS	
ELEVATION	MINIMUM
SOUTH (FRONT)	6.0M (19'-8")
NORTH (REAR)	7.5M (24'-7")
EAST (INT SIDE)	7.5M (24'-7")
WEST (INT SIDE)	7.5M (24'-7")
UNIT COUNT	
BUILDING TYPE A	3 UNITS 110.4M ² 1,188 SQ. FT.
BUILDING TYPE B	4 UNITS 116.1M ² 1,250 SQ. FT.
BUILDING TYPE C	4 UNITS 117.1M ² 1,260 SQ. FT.

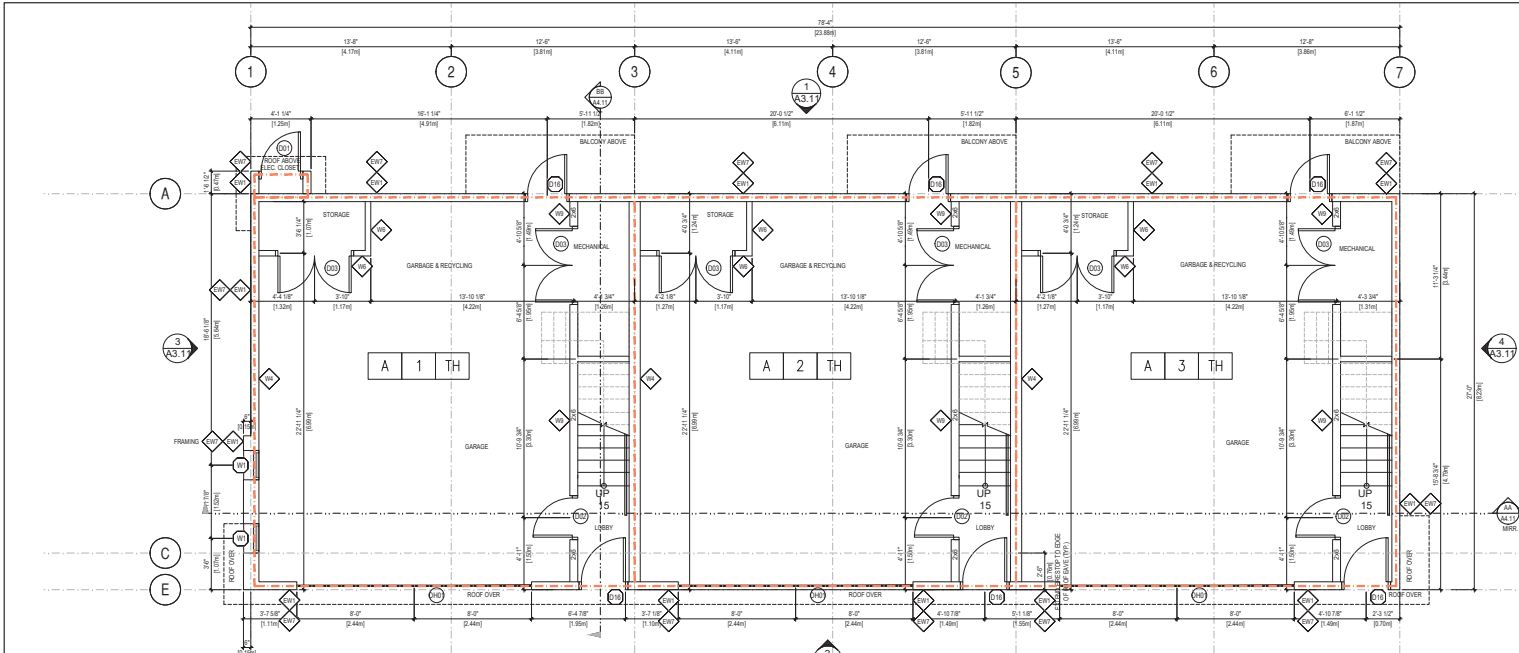
FLOOR AREA RATIOS						
GFA BUILDING TYPE A	345.2M ² (3,716.06 SQ. FT.) 4 BUILDINGS					
GFA BUILDING TYPE B	454.4M ² (4,891.150 FT.) 3 BUILDINGS					
GFA BUILDING TYPE C	475.7M ² (5,121.43 SQ. FT.) 1 BUILDING					
ALLOWED F.S.R. 0.6 PROPOSED F.S.R. = 3,148,195,335.14 = 0.59						
UNIT MATRIX						
UNIT TYPE NUMBER	#BED	GROUND/1ST FLOOR	2ND FLOOR	3RD FLOOR	G.F.A. (SQ.M)	TOTAL G.F.A. (SQ.M)
A 12	3	3.2 M ² (34.88 SQ.M)	56.89 M ² (618.38 SQ.M)	53.27 M ² (578.98 SQ.M)	114.47 M ² (1,232.24 SQ.M)	1,373.74 M ² (14,798.68 SQ.M)
B 12	3	4.5 M ² (48.97 SQ.M)	55.95 M ² (608.16 SQ.M)	50.21 M ² (545.14 SQ.M)	111.7 M ² (1,202.80 SQ.M)	1,341.00 M ² (14,524.44 SQ.M)
C 4	3	2.69 M ² (29.33 SQ.M)	54.95 M ² (597.44 SQ.M)	49.65 M ² (539.62 SQ.M)	108.3 M ² (1,166.39 SQ.M)	4,865.5 M ² (52,481.14 SQ.M)
TOTAL 28					3,148.19 M ² (33,886.88 SQ.M)	

PARKING 2 STALL PER DWELLING UNIT +0.2 FOR VISITOR STALLS PER DWELLING UNIT. 6 VISITOR STALLS REQUIRED (0.2X28) = 5.6 1 STALLS TO BE ACCESSIBLE AS PER 7663-2020 (4.3) 6 STALL PROVIDED LEVEL 2 CHARGING TO BE PROVIDED IN ALL CONCEALED GARAGE AND FOR 50% OF VISITOR STALLS.			
AMENITY OUTDOOR REQUIRED = 5 M ² PER UNIT OF PUBLIC AMENITY = 140 M ² (1,507 SQ. FT.) PROVIDED = 182.9 M ² (1,988.8 SQ. FT.)			
PRIVATE AMENITY			
BUILDING TYPE	REQUIRED	PROPOSED	LOCATION
TYPE A	8.8M ² (95 SQ. FT.)	22.4M ² (242 SQ. FT.)	BACK YARD
TYPE A 1 (80% MIN. UNIT AT ENTRY)	8.8M ² (95 SQ. FT.)	15.8M ² (170 SQ. FT.)	BACK YARD
TYPE B	11.33M ² (122 SQ. FT.)	14.9M ² (160 SQ. FT.)	FRONT YARD
TYPE C	12.9M ² (139 SQ. FT.)	33.4M ² (360 SQ. FT.)	ROOF TOP PATIO
COMMON OPEN AREA REQUIRED = 45 M ² PER UNIT OF PUBLIC AMENITY = 1,260 M ² (13,557 SQ. FT.) PROVIDED = 1,521.5 M ² (16,377.8 SQ. FT.) INCLUDING PRIVATE OUTDOOR AREA EXCLUDES AREA USED FOR OFF-STREET PARKING, OFF-STREET LOADING AND SERVICE DRIVEWAY			

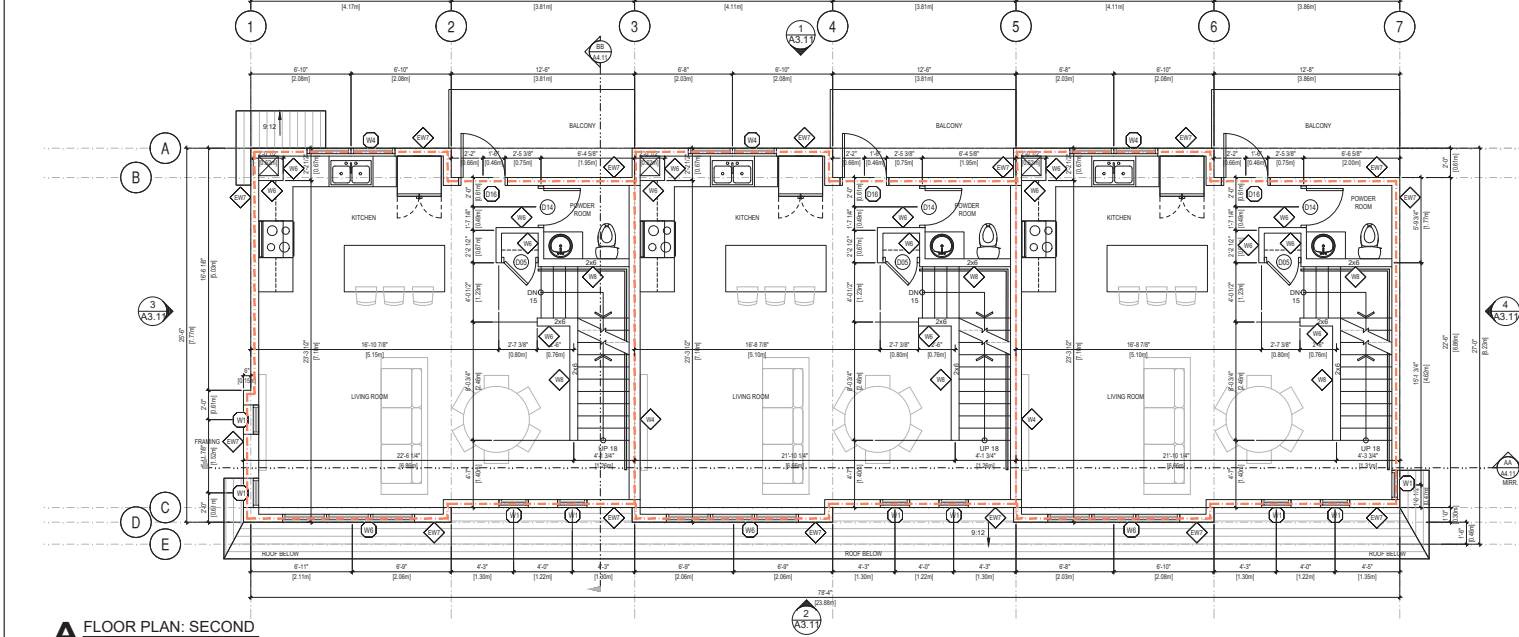
PLAN SYMBOL:

- TAG, DETAIL
- TAG, ELEVATION
- TAG, BUILDING SECTION
- TAG, WALL SECTION
- DRAWING NOTE
- SPOT ELEVATION
- PROPERTY LINE
- BUILDING SETBACK
- RETAINING WALL - REFER TO GEOTECH / LANDSCAPE DRAWING FOR INFO.

20257 PATTERSON AVE, MAPLE RIDGE (23-043)



A FLOOR PLAN: GROUND
SCALE: 1/4" = 1'-0"



A FLOOR PLAN: SECOND
SCALE: 1/4" = 1'-0"

PLAN SYMBOL:

- TAG DETAIL: CALLOUT NUMBER, REFERENCE FRAME
- TAG ELEVATION: ELEVATION NUMBER, REFERENCE FRAME
- TAG BUILDING SECTION: SECTION NUMBER, REFERENCE FRAME
- TAG WALL SECTION: SECTION NUMBER, REFERENCE FRAME
- DRAWING NOTE
- FLOOR AREA IN M² (CFM): EXEMPTED FLOOR AREA AS PER BYLAW
- WALL TAG: REFER TO ASSEMBLY SHEET
- SUITE - DOOR NUMBER: REFER TO DOOR SCHEDULE
- WINDOW NUMBER: REFER TO WINDOW SCHEDULE
- SPOT ELEVATION
- PROPERTY LINE
- BUILDING SETBACK
- BALCONY/ROOF DRAIN
- BALCONY/ROOF SCUPPER
- ROOF GUTTER / RWL

WALL LEGEND:

- BEARING WALL
- PARTITION WALL
- WALL ABOVE

NOTES:

- REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT
- REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FRR.

F.R.R. LEGEND:

100% FRR, 100% FRR, 100% FRR, 100% FRR

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THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.

KEY PLAN
SCALE: NTS

REV	DATE	DESCRIPTION
3	2025/10/22	RE-ISSUED FOR BUILDING PERMIT
2	2025/10/15	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

CONSULTANT

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ARCHITECT

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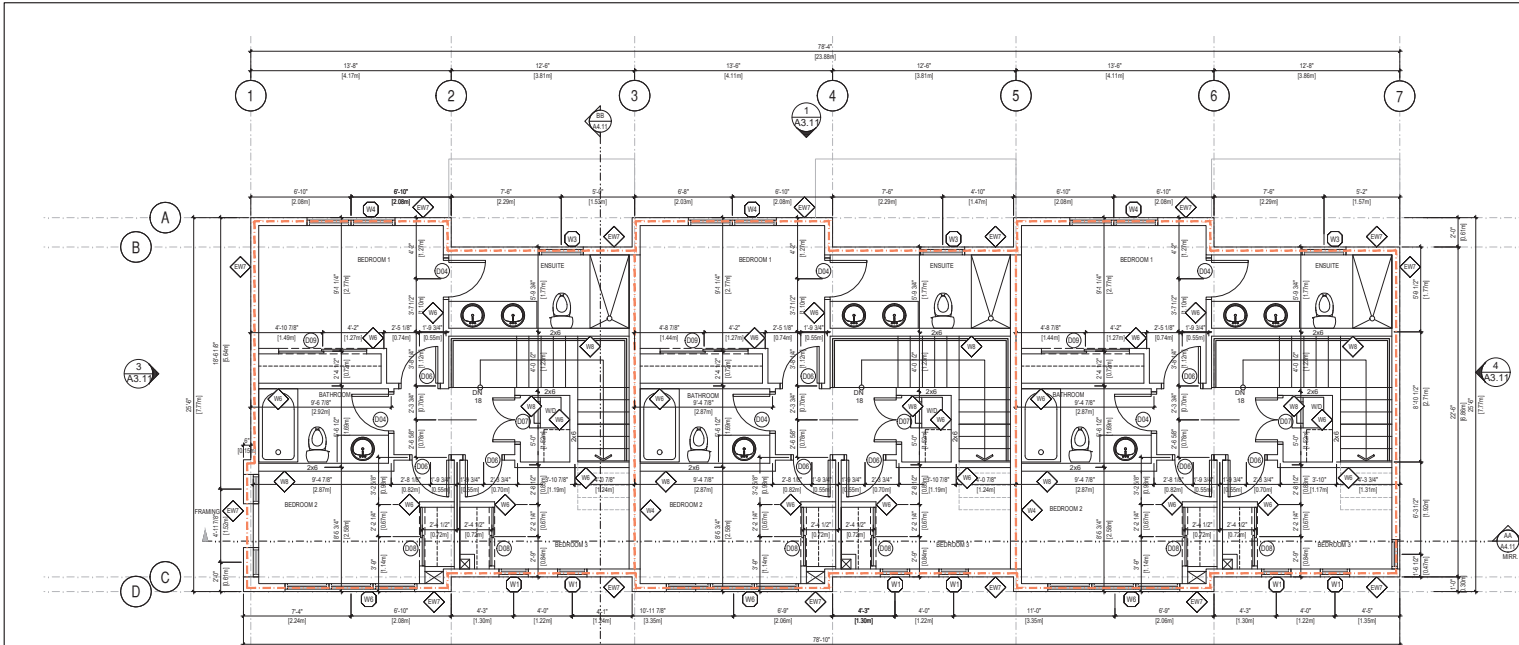
PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: BUILDING 1 - TYPE A FLOOR PLAN GROUND/SECOND

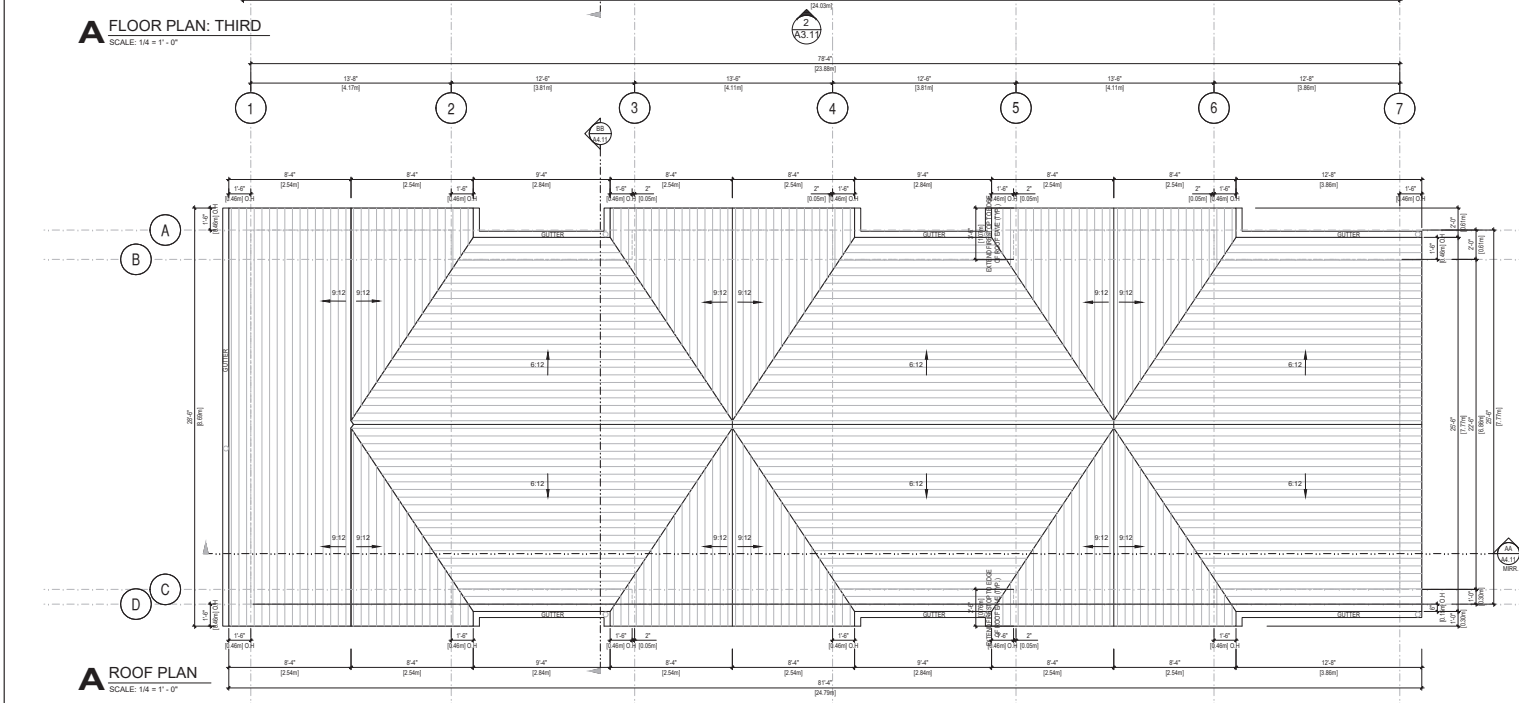
PROJECT NUMBER: 23-043 DRAWING NUMBER: A2.11

SCALE: 1/4" = 1'-0"

DATE: 2025/07/30 REGION: 2025/10/10



A FLOOR PLAN: THIRD
SCALE: 1/4" = 1'-0"



A ROOF PLAN
SCALE: 1/4" = 1'-0"

PLAN SYMBOL:

- TAG: DETAIL
○ CALLOUT NUMBER
- TAG: ELEVATION
○ ELEVATION NUMBER
○ REFERENCE FLOOR
- TAG: BUILDING SECTION
○ SECTION NUMBER
○ REFERENCE FLOOR
- TAG: WALL SECTION
○ SECTION NUMBER
○ REFERENCE FLOOR
- DRAWING NOTE
- FLOOR AREA IN M² (GFN)
○ EXEMPTED FLOOR AREA AS PER BYLAW
- WALL TAG
○ REFER TO ASSEMBLY SHEET
- SUITE - DOOR NUMBER
○ REFER TO DOOR SCHEDULE
- WINDOW NUMBER
○ REFER TO WINDOW SCHEDULE
- SPOT ELEVATION
- PROPERTY LINE
- BUILDING SETBACK
- BALCONY/ROOF DRAIN
- BALCONY/ROOF SCUPPER
- ROOF GUTTER / F/W

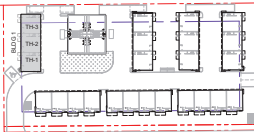
WALL LEGEND:

- ▬ BEARING WALL
 - ▬ PARTITION WALL
 - ▬ WALL ABOVE
- NOTES:
 1 REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT
 2 REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FRR

F.R.R. LEGEND:

100% FRR 100% FRR 100% FRR 100% FRR

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KEY PLAN
SCALE: NTS

REV	DATE	DESCRIPTION
3	2025/10/22	RE-ISSUED FOR BUILDING PERMIT
2	2025/10/15	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

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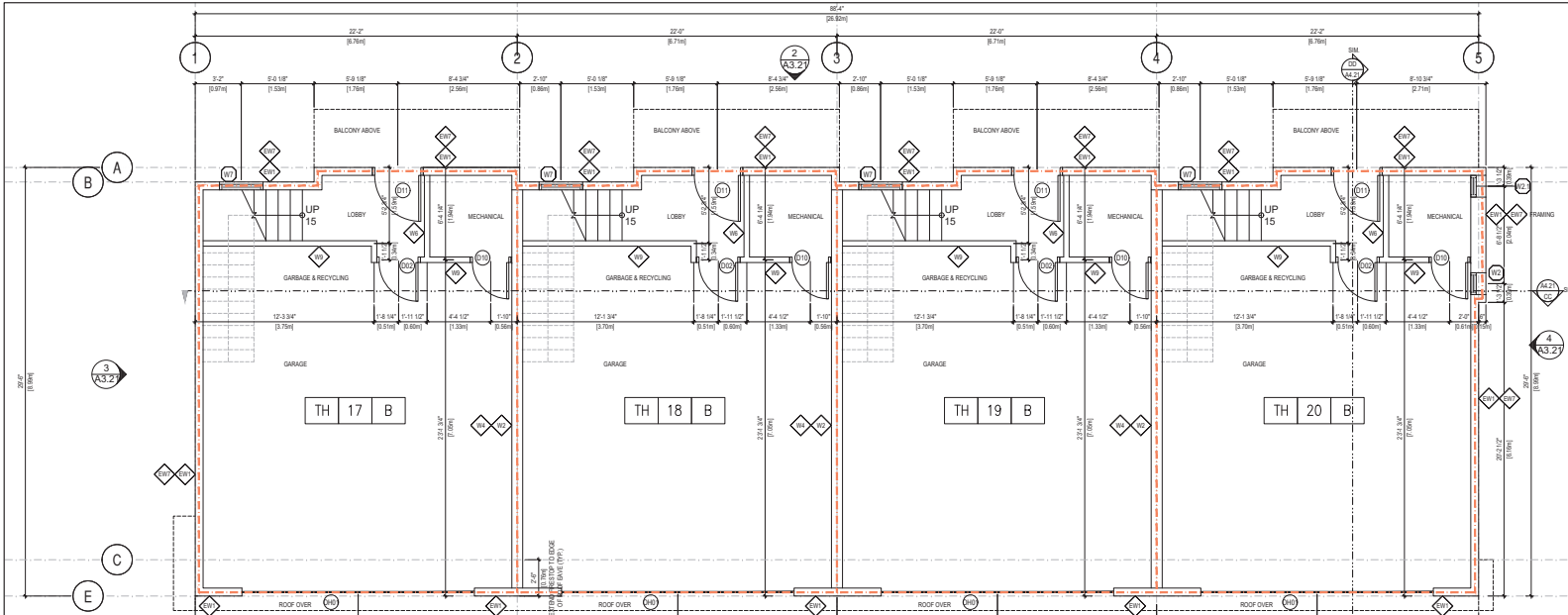
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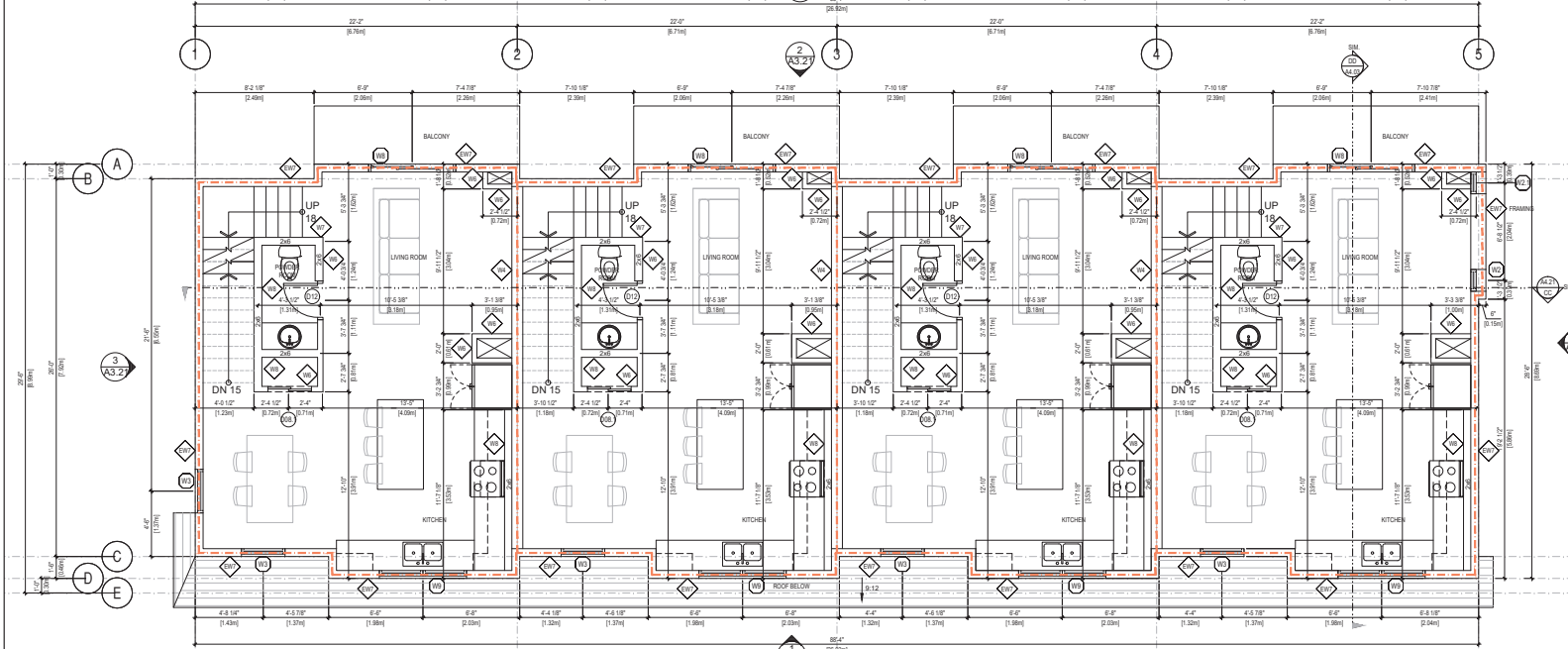
PATTERSON TOWNHOUSES
 20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: BUILDING 1 - TYPE A
 FLOOR PLAN
 THIRD/ROOF

PROJECT NUMBER: 23-043
 DRAWING NUMBER: A2.12
 SCALE: 1/4" = 1'-0"
 DATE: 2025/07/30
 REGION: 2025/10/10



B FLOOR PLAN: GROUND
SCALE: 1/4" = 1'-0"



B FLOOR PLAN: SECOND
SCALE: 1/4" = 1'-0"

PLAN SYMBOL:

- ⊕ TAG: DETAIL CALLOUT NUMBER REFERENCE PRICE
- ⊕ TAG: ELEVATION ELEVATION NUMBER REFERENCE PRICE
- ⊕ TAG: BUILDING SECTION SECTION NUMBER REFERENCE PRICE
- ⊕ TAG: WALL SECTION SECTION NUMBER REFERENCE PRICE
- ⊕ DRAWING NOTE
- ⊕ FLOOR AREA IN SF (CFM) EXEMPTED FLOOR AREA AS PER BYLAW
- ⊕ WALL TAG REFER TO ASSEMBLY SHEET
- ⊕ SUITE - DOOR NUMBER REFER TO DOOR SCHEDULE
- ⊕ WINDOW NUMBER REFER TO WINDOW SCHEDULE
- ⊕ SPOT ELEVATION
- PROPERTY LINE
- BUILDING SETBACK
- BALCONY/ROOF DRAIN
- BALCONY/ROOF SCUPPER
- ROOF GUTTER / R/W

WALL LEGEND:

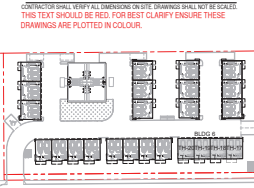
- ▬ BEARING WALL
- ▬ PARTITION WALL
- ▬ WALL ABOVE

NOTES:

- REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT
- REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FRR

F.R.R. LEGEND:

100% FRR 100% FRR 100% FRR 100% FRR 100% FRR



REV	DATE	DESCRIPTION
3	2025/10/22	RE-ISSUED FOR BUILDING PERMIT
2	2025/10/15	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

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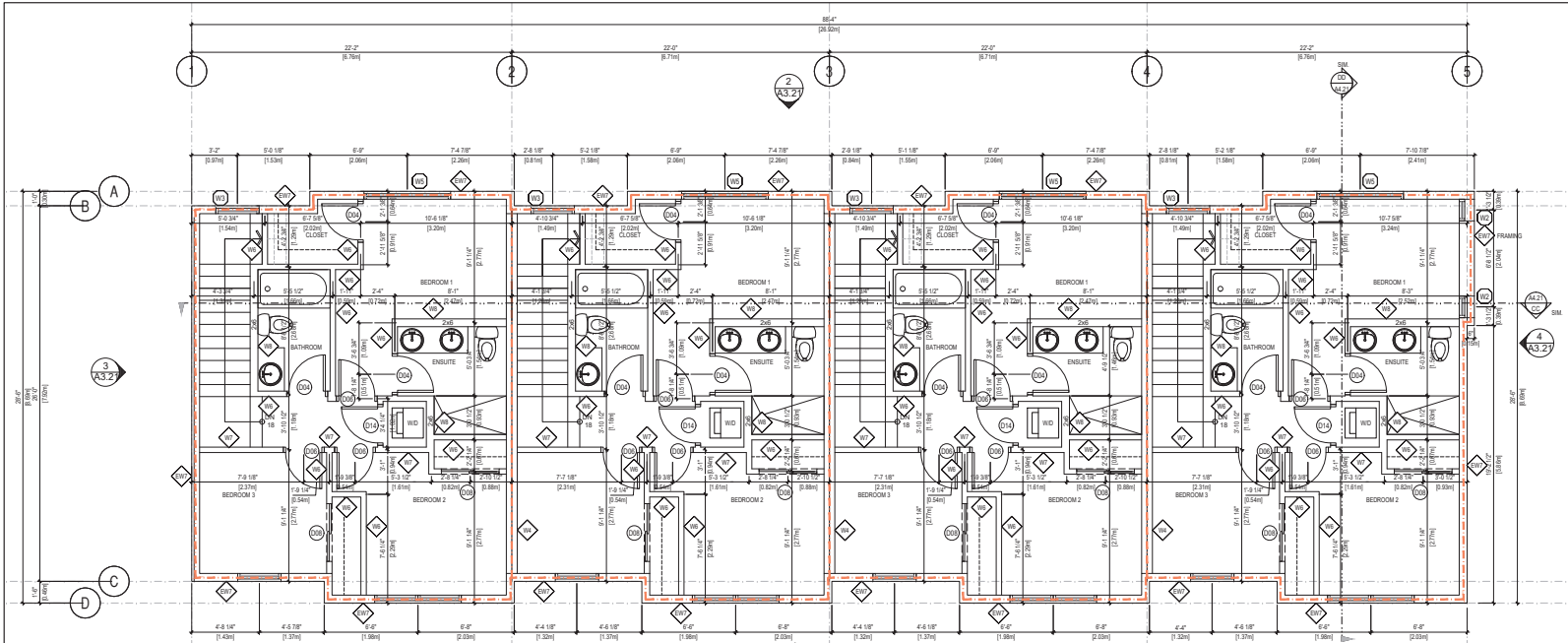
DRAWN BY: NZ APPROVED BY: AS
PROJECT: PATTERSON TOWNHOUSES

20257 PATTERSON AVE, MAPLE RIDGE

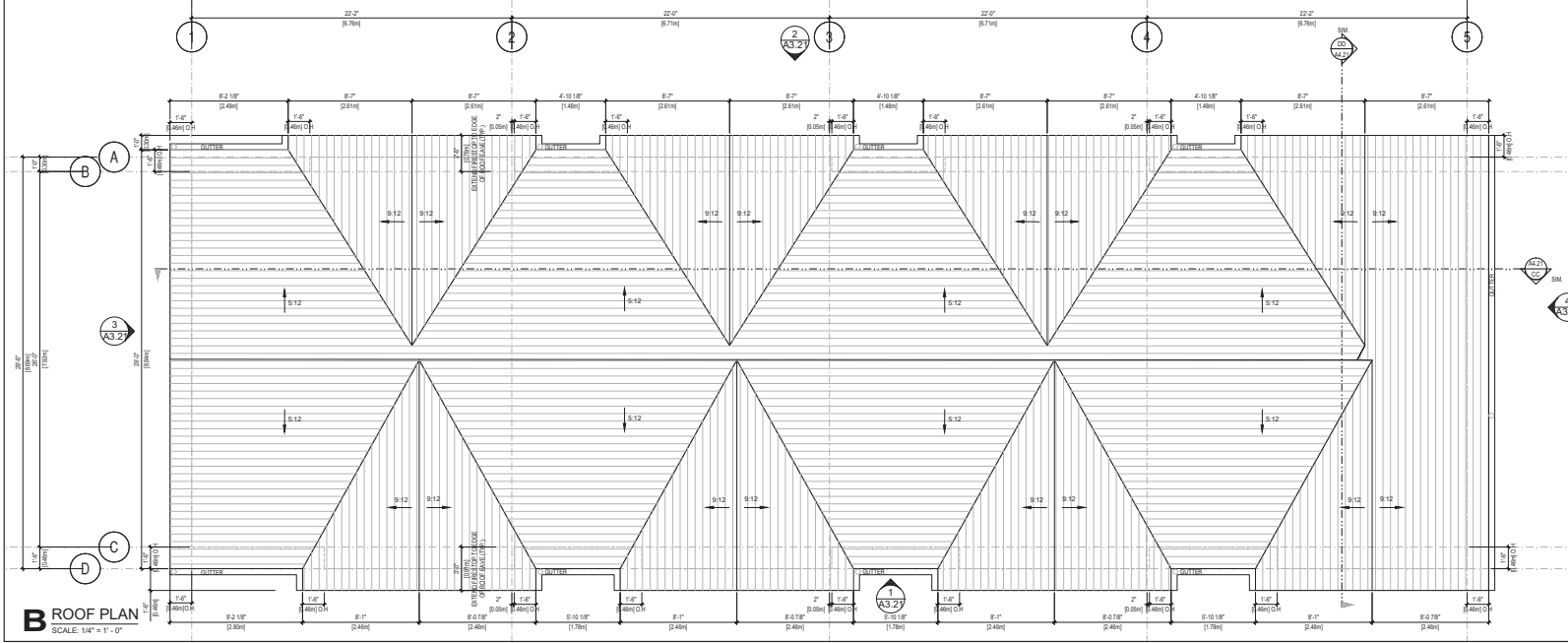
DRAWING: BUILDING 6 - TYPE B
FLOOR PLAN
GROUND/SECOND

PROJECT NUMBER: 23-043 DRAWING NUMBER: A2.21

SCALE: 1/4" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10



B FLOOR PLAN: THIRD
SCALE: 1/4" = 1' - 0"



B ROOF PLAN
SCALE: 1/4" = 1' - 0"

PLAN SYMBOL:

- TAG DETAIL (CIRCULAR SYMBOL)
- CALCULATED FINISH (CIRCULAR SYMBOL)
- TAG ELEVATION (CIRCULAR SYMBOL)
- TAG BUILDING SECTION (CIRCULAR SYMBOL)
- TAG WALL SECTION (CIRCULAR SYMBOL)
- DRAWING NOTE (RECTANGULAR SYMBOL)
- FLOOR AREA IN M² (GFA) (RECTANGULAR SYMBOL)
- EXEMPTED FLOOR AREA AS PER BYLAW (RECTANGULAR SYMBOL)
- WALL TAG (RECTANGULAR SYMBOL)
- REFER TO ASSEMBLY SHEET (RECTANGULAR SYMBOL)
- SUITE - DOOR NUMBER (RECTANGULAR SYMBOL)
- WINDOW NUMBER (RECTANGULAR SYMBOL)
- REFER TO WINDOW SCHEDULE (RECTANGULAR SYMBOL)
- SPOT ELEVATION (RECTANGULAR SYMBOL)
- PROPERTY LINE (DASHED LINE)
- BUILDING SETBACK (DASHED LINE)
- BALCONY/ROOF DRAIN (RECTANGULAR SYMBOL)
- BALCONY/ROOF SCUPPER (RECTANGULAR SYMBOL)
- ROOF GUTTER / F/W/L (RECTANGULAR SYMBOL)

WALL LEGEND:

- BEARING WALL (THICK LINE)
- PARTITION WALL (THIN LINE)
- WALL ABOVE (DASHED LINE)

NOTES:

- REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT.
- REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FIN.

F.R.R. LEGEND:

2007 1.00M 1.00M 1.00M 1.00M 1.00M

KEY PLAN
SCALE: NTS

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REV.	DATE	DESCRIPTION
3	20201122	RE-ISSUED FOR BUILDING PERMIT
2	20201010	RE-ISSUED FOR BUILDING PERMIT
1	20200707	ISSUED FOR BUILDING PERMIT

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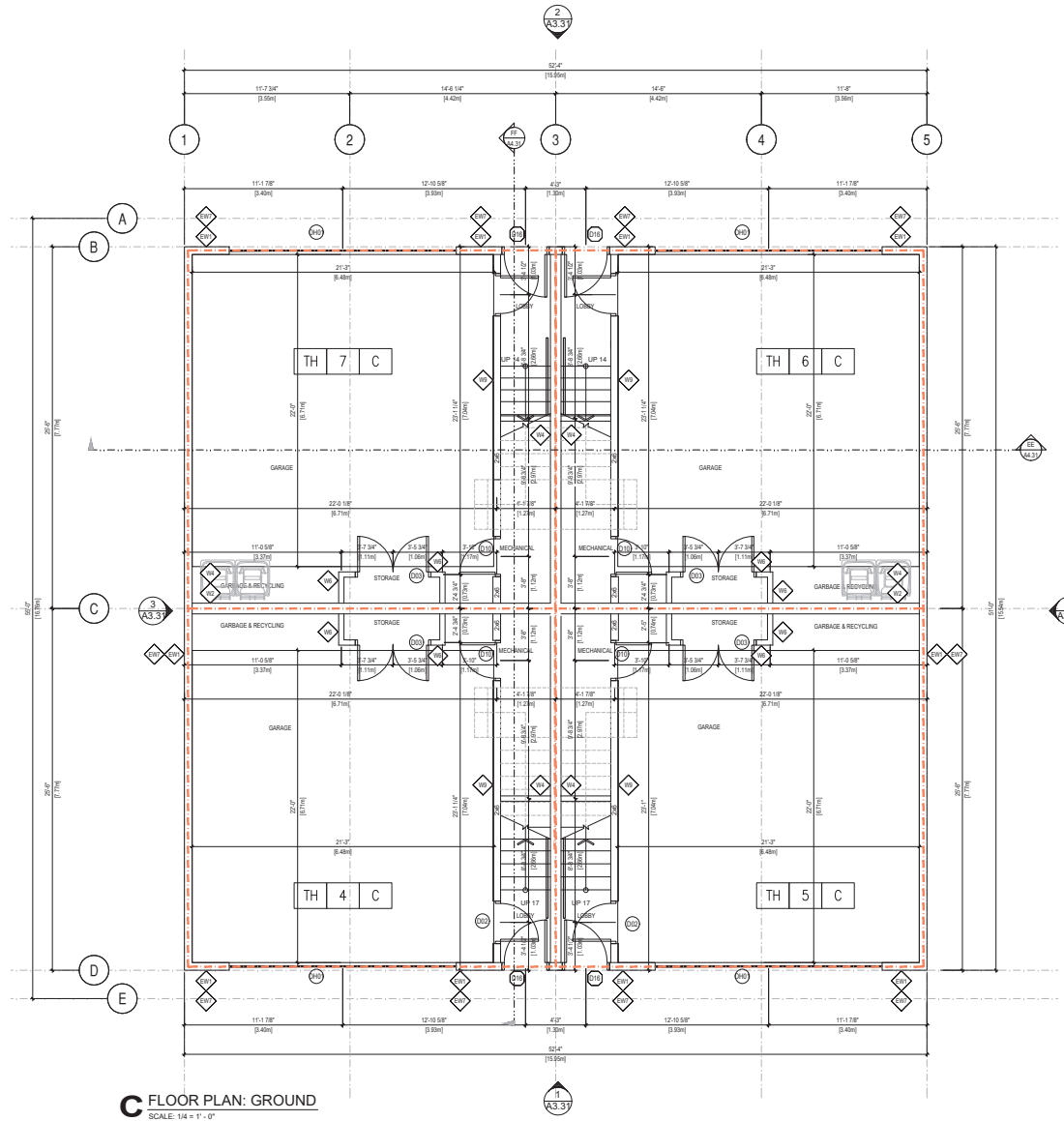
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DRAWN BY: NZ APPROVED BY: AS
PROJECT: PATTERSON TOWNHOUSES

20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: BUILDING 6 - TYPE B
FLOOR PLAN
THIRD/ROOF

PROJECT NUMBER: 23-043 DRAWING NUMBER: A2.22
SCALE: 1/4" = 1' - 0"
DATE: 2025/07/30 REGION: 2025/10/10



C FLOOR PLAN: GROUND
SCALE: 1/4" = 1' - 0"

PLAN SYMBOL:

- TAG: DETAIL
○ TAG: ELEVATION
○ TAG: BUILDING SECTION
○ TAG: WALL SECTION
□ FLOOR AREA IN M² (CFM)
□ EXEMPTED FLOOR AREA AS PER BYLAW
◇ WALL TAG
◇ SUITE - DOOR NUMBER
◇ WINDOW NUMBER
◇ SPOT ELEVATION
— PROPERTY LINE
— BUILDING SETBACK
— BALCONY/ROOF DRAIN
— BALCONY/ROOF SCUPPER
— ROOF GUTTER / RWL

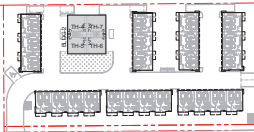
WALL LEGEND:

- ▬ BEARING WALL
 - ▬ PARTITION WALL
 - ▬ WALL ABOVE
- NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT.
2. REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FRR.

F.R.R. LEGEND:

100% FRR 100% FRR 100% FRR 100% FRR

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KEY PLAN
SCALE: NTS

REV	DATE	DESCRIPTION
3	2025/10/22	RE ISSUED FOR BUILDING PERMIT
2	2025/10/10	RE ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

CONSULTANT SEAL

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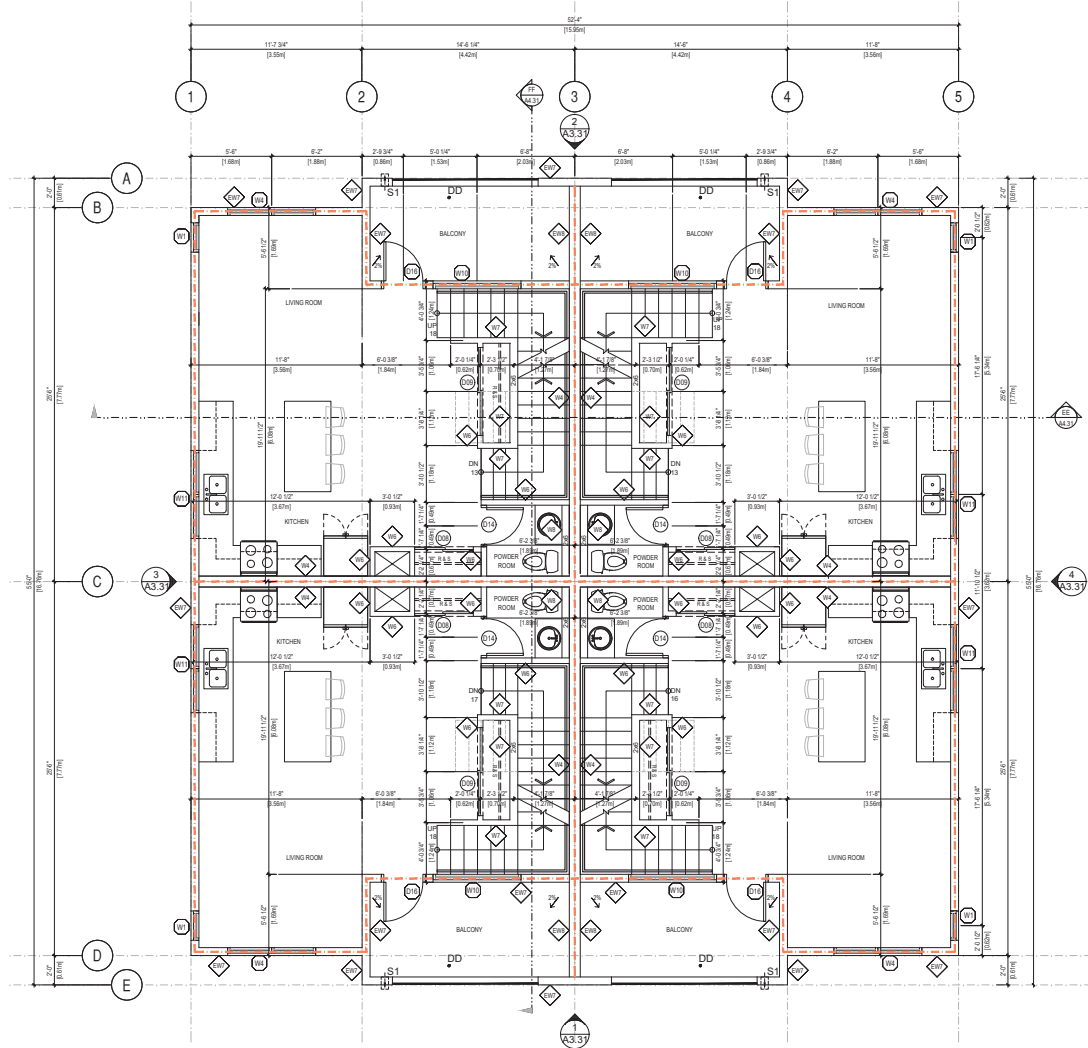
DRAWN BY: NZ APPROVED BY: AS
PROJECT: Patterson Townhouses

PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: BUILDING 2 - TYPE C
FLOOR PLAN
GROUND

PROJECT NUMBER: 23-043 DRAWING NUMBER: A2_31
SCALE: 1/4" = 1' - 0"
DATE: 2025/07/30 REGION: 2025/10/10

20257 PATTERSON AVE, MAPLE RIDGE (23-043)



C FLOOR PLAN: SECOND
SCALE: 1/4" = 1' - 0"

PLAN SYMBOL:

- TAG - DETAIL
CALLOUT NUMBER
REFERENCE FRIDGE
- TAG - ELEVATION
ELEVATION NUMBER
REFERENCE FRIDGE
- TAG - BUILDING SECTION
SECTION NUMBER
REFERENCE FRIDGE
- TAG - WALL SECTION
SECTION NUMBER
REFERENCE FRIDGE
- DRAWING NOTE
- DRAWING AREA IN M² (CFM)
- EXEMPTED FLOOR AREA AS PER BY-LAW
- WALL TAG
REFER TO ASSEMBLY SHEET
- SITE - DOOR NUMBER
REFER TO DOOR SCHEDULE
- WINDOW NUMBER
REFER TO WINDOW SCHEDULE
- SPOT ELEVATION
- PROPERTY LINE
- BUILDING SETBACK
- BALCONY/ROOF DRAIN
- BALCONY/ROOF SCUPPER
- ROOF GUTTER / F/W

WALL LEGEND:

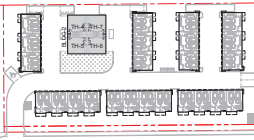
- BEARING WALL
- PARTITION WALL
- SHELL ABOVE

NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT.
2. REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FRR.

F.R.R. LEGEND:

1/2" FRB 1/2" FRB 1/2" FRB 1/2" FRB 1/2" FRB 1/2" FRB

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS SHALL NOT BE SCALED.
THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.



KEY PLAN
SCALE: NTS

REV	DATE	DESCRIPTION
3	2025/10/22	RE-ISSUED FOR BUILDING PERMIT
2	2025/10/15	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

CONSULTANT SEAL

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DRAWN BY: NZ APPROVED: AS
PROJECT: 20257 PATTERSON AVE. MAPLE RIDGE

PATTERSON TOWNHOUSES
20257 PATTERSON AVE. MAPLE RIDGE

DRAWING: BUILDING 2 - TYPE C
FLOOR PLAN
SECOND

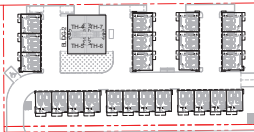
PROJECT NUMBER: 23-043 DRAWING NUMBER: A2.32

SCALE: 1/4" = 1' - 0"
DATE: 2025/07/30 REGION: 2025/10/10



20257 PATTERSON AVE. MAPLE RIDGE (23-043)

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KEY PLAN
SCALE: NTS

REV	DATE	DESCRIPTION
3	2025/07/30	RE-ISSUED FOR BUILDING PERMIT
2	2025/07/10	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/07	ISSUED FOR BUILDING PERMIT

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DRAWN BY: NZ APPROVED BY: AS
PROJECT: PATTERSON TOWNHOUSES

20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: BUILDING 2 - TYPE C FLOOR PLAN THIRD

PROJECT NUMBER: 23-043 DRAWING NUMBER: A2.33

SCALE: 1/4" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10

PLAN SYMBOL:

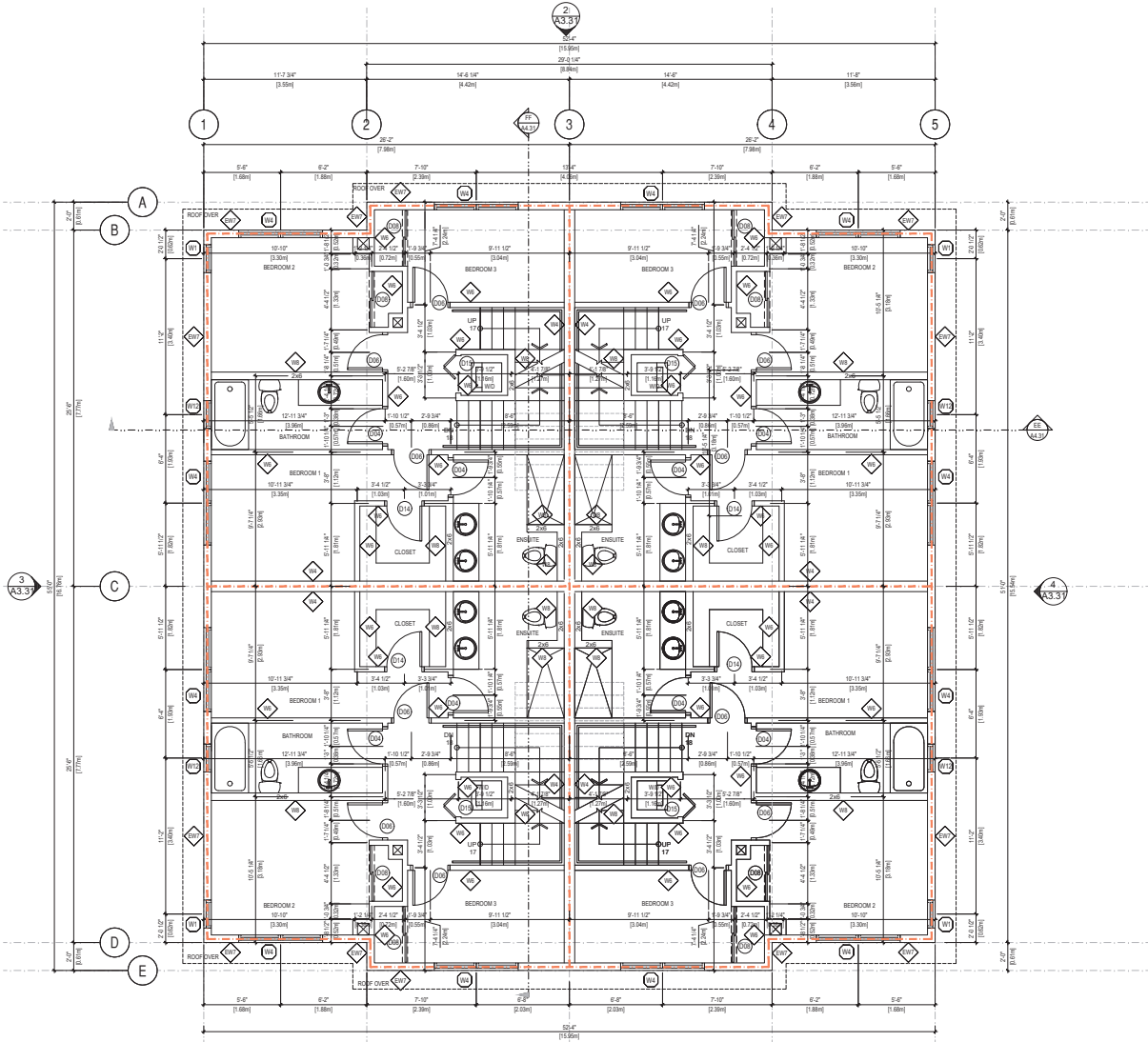
- TAG, DETAIL: CIRCLED NUMBER
- GRID LINE NUMBER: DASHED LINE
- TAG, ELEVATION: ELEVATION NUMBER, REFERENCE PRICE
- TAG, BUILDING SECTION: SECTION NUMBER, REFERENCE PRICE
- TAG, WALL SECTION: SECTION NUMBER, REFERENCE PRICE
- DRAWING NOTE: SQUARE WITH NUMBER
- FLOOR AREA IN M² (CFM): SQUARE WITH NUMBER
- EXEMPTED FLOOR AREA AS PER BYLAW: DASHED LINE
- WALL TAG: REFER TO ASSEMBLY SHEET
- SUITE, DOOR NUMBER: REFER TO DOOR SCHEDULE
- WINDOW NUMBER: REFER TO WINDOW SCHEDULE
- SPOT ELEVATION: CIRCLED NUMBER
- PROPERTY LINE: DASHED LINE
- BUILDING SETBACK: DASHED LINE
- BALCONY/ROOF DRAIN: CIRCLED NUMBER
- BALCONY/ROOF SCUPPER: CIRCLED NUMBER
- ROOF GUTTER / R/W: DASHED LINE

WALL LEGEND:

- BEARING WALL: THICK LINE
 - PARTITION WALL: THIN LINE
 - WALL ABOVE: DASHED LINE
- NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT.
2. REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FIR.

F.R.R. LEGEND:

1 HR FRR

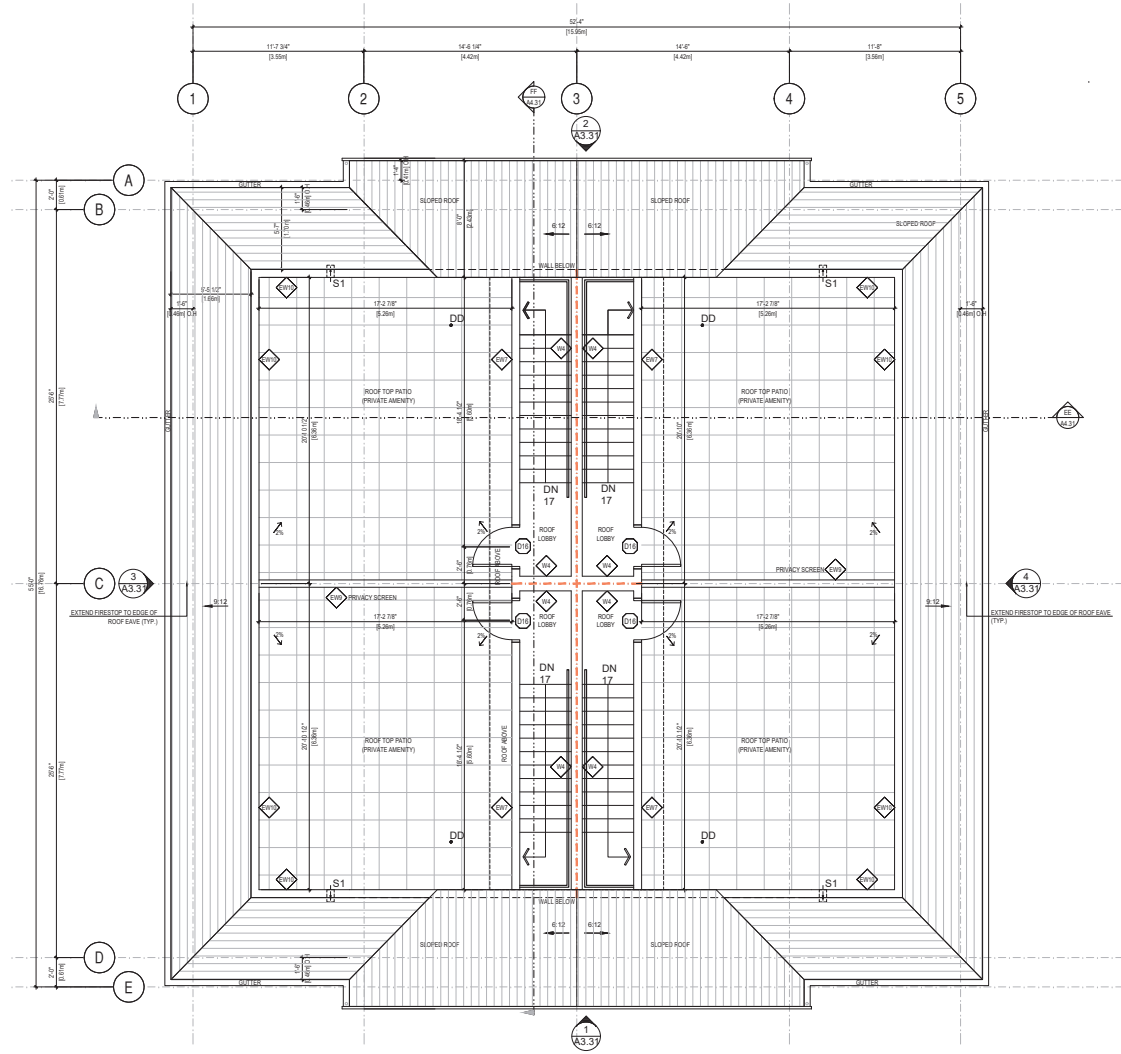


C FLOOR PLAN: THIRD
SCALE: 1/4" = 1'-0"

A3.37



20257 PATTERSON AVE, MAPLE RIDGE (23-043)



C ROOF PLAN
SCALE: 1/4" = 1'-0"

PLAN SYMBOL:

- ⊕ TAG: DETAIL CALLOUT NUMBER REFERENCE PAGE
- ⊕ TAG: ELEVATION ELEVATION NUMBER REFERENCE PAGE
- ⊕ TAG: BUILDING SECTION SECTION NUMBER REFERENCE PAGE
- ⊕ TAG: WALL SECTION SECTION NUMBER REFERENCE PAGE
- NOTE DRAWING NOTE
- 2000 FLOOR AREA IN M² (CFM) EXEMPTED FLOOR AREA AS PER BY-LAW
- ⊕ WALL TAG REFER TO ASSEMBLY SHEET
- ⊕ SITE - DOOR NUMBER REFER TO DOOR SCHEDULE
- ⊕ WINDOW NUMBER REFER TO WINDOW SCHEDULE
- ⊕ SPOT ELEVATION
- PROPERTY LINE
- BUILDING SETBACK
- ⊕ BALCONY/ROOF DRAIN
- ⊕ BALCONY/ROOF SCUPPER
- ⊕ ROOF GUTTER / R/W

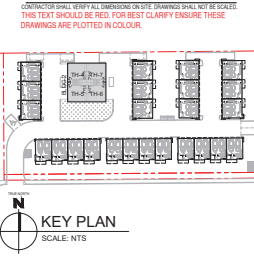
WALL LEGEND:

- ▬ BEARING WALL
- ▬ PARTITION WALL
- ▬ WALL ABOVE
- ▬ WALL BELOW

NOTES:
1 REFER TO STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS AND REINFORCEMENT
2 REFER TO WALL ASSEMBLIES FOR FINISHES AND REQUIRED FIR.

F.R.R. LEGEND:

1 HR FRR



REV	DATE	DESCRIPTION
3	2025/07/30	RE-ISSUED FOR BUILDING PERMIT
2	2025/07/10	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/10	ISSUED FOR BUILDING PERMIT

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DRAWN BY: NZ APPROVED BY: AS

PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE
BUILDING 2 - TYPE C
ROOF PLAN

PROJECT NUMBER: 23-043 DRAWING NUMBER: A2.34
SCALE: 1/4" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10

2025 PATTERSON AVE, MAPLE RIDGE (23-043)

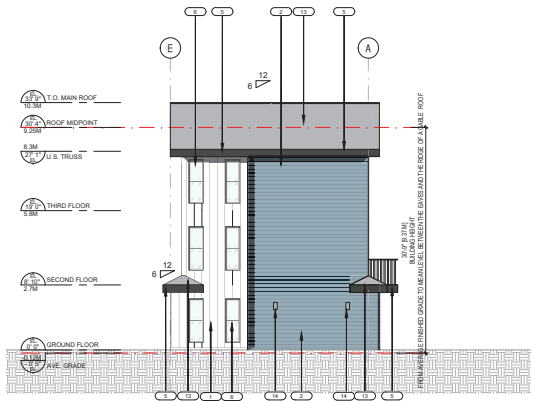
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.



1 GARDEN ELEVATION: REAR
1/8" = 1'-0"

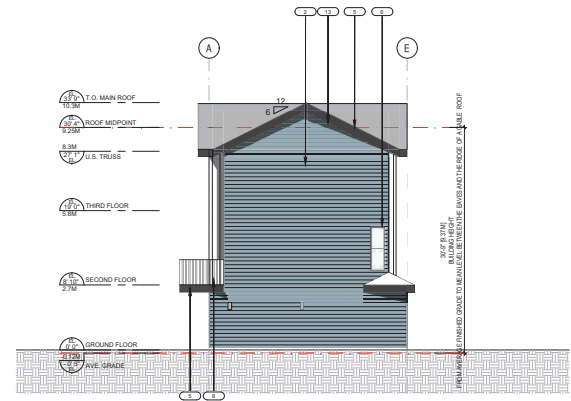


2 GARAGE ELEVATION: FRONT
1/8" = 1'-0"



3 SIDE ELEVATION
1/8" = 1'-0"

NOTES: WINDOWS AS SHOWN ON THE SIDE ELEVATIONS ARE ONLY FOR THE EXPOSED STREET SIDES.



EXTERIOR FINISHES LEGEND

- (1) CONC. FOUNDATION - PAINTED - (IRON GRAY)
- (2) FIBER CEMENT BOARD AND BATTEN SIDING - (ARCTIC WHITE) WITH LIGHT TRIM BALANCE TRIM SYSTEM - (ANODIZED WHITE) SMOOTH FIBER CEMENT VERTICAL ARTISAN SQUARE CHANNEL SIDING 1/2"
- (3) FIBER CEMENT LAP SIDING - (SEE COLOUR CHART PER BUILDING) SMOOTH FIBER CEMENT HORIZONTAL LAP SIDING 5/8"
- (4) SPARE
- (5) SMART TRIM FIBER CEMENT TRIM - (COLOUR MATCHED TO SIDING)
- (6) SMART TRIM FIBER CEMENT TRIM - (MIDNIGHT BLACK)
- (7) WINDOWS & BALCONY AL. DOOR FRAMES - (ANODIZED BLACK)
- (8) THERMAL BROKEN ALUMINUM DOOR WITH GLASS - (ANODIZED BLACK)
- (9) BALCONY RAILING - (ANODIZED BLACK POCKET AL.)
- (10) GARAGE DOOR - (PRE-FIN-WHITE)
- (11) FIBER CEMENT LAP SIDING - (REPLICA WOOD HARVARD MAPLE) SMOOTH FIBER CEMENT HORIZONTAL LAP SIDING 5/8"
- (12) THERMAL INSULATED METAL DOOR - (SEE COLOUR CHART PER BUILDING)
- (13) INSULATED METAL DOOR - (REPLICA WOOD FINISH HARVARD MAPLE)
- (14) ASPHALT SHINGLES - (GREY)
- (15) ARTIFICIAL LIGHTING

BUILDING 1 BLUE HYDRANGEA 2062-60
BUILDING 2 BLUE JEAN 2062-50
BUILDING 3 BLUE DASY 2062-40
BUILDING 4 BLUE DANLUBE 2062-30
BUILDING 5 GENTLEMANS GRAY 2062-20

*COLOURS SHOWN IN TABLE AND ON ELEVATIONS MAY DIFFER IN TONE DUE TO GRAPHICAL REPRESENTATION.
NOTE: THESE ELEVATIONS REFLECT BUILDING A. THE OTHER TYPES ARE GENERALLY SIMILAR. HOWEVER, REFER TO THE CML ELEVATION GRADING FOR ANY FLOOR LEVEL CHANGES

REV	DATE	DESCRIPTION
3	2026/10/22	RE ISSUED FOR BUILDING PERMIT
2	2025/07/10	RE ISSUED FOR BUILDING PERMIT
1	2025/07/07	ISSUED FOR BUILDING PERMIT

CONSULTANT SEAL

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DESIGN BY: APPROVED BY: AS
PROJECT: PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE
DRAWING: BUILDING TYPE A ELEVATIONS

PROJECT NUMBER: 23-043
DRAWING NUMBER: A3.11
SCALE: 1/8" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10

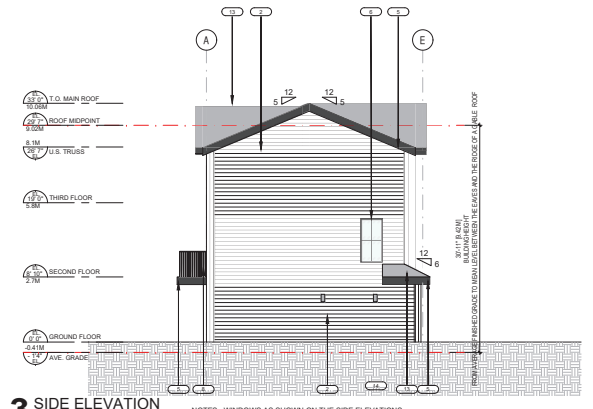
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.



1 GARAGE ELEVATION: FRONT
1/8" = 1'-0"

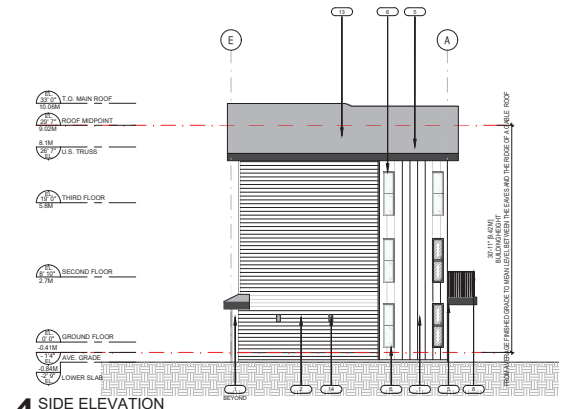


2 GARDEN ELEVATION: REAR
1/8" = 1'-0"



3 SIDE ELEVATION
1/8" = 1'-0"

NOTES: WINDOWS AS SHOWN ON THE SIDE ELEVATIONS ARE ONLY FOR THE EXPOSED STREET SIDES.



4 SIDE ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND

- 1 CONG. FOUNDATION - PAINTED - (IRON GRAY)
- 2 FIBER CEMENT BOARD AND BATTEN SIDING - (ARCTIC WHITE)
- 3 WITH LIGHT TRIM BALANCE TRIM SYSTEM - (ANODIZED WHITE)
- 4 SMOOTH FIBER CEMENT VERTICAL ARTISAN SQUARE CHANNEL SIDING - (2"*)
- 5 FIBER CEMENT LAP SIDING - (SEE COLOUR CHART PER BUILDING)
- 6 SMOOTH FIBER CEMENT HORIZONTAL LAP SIDING - (2"*)
- 7 SPARE
- 8 SMART TRIM FIBER CEMENT TRIM - (COLOUR MATCHED TO SIDING)
- 9 SMART TRIM FIBER CEMENT TRIM - (MIDNIGHT BLACK)
- 10 WINDOWS & BALCONY AL. DOOR FRAMES - (ANODIZED BLACK)
- 11 THERMAL BROKEN ALUMINUM DOOR WITH GLASS - (ANODIZED BLACK)
- 12 BALCONY RAILING - (ANODIZED BLACK PICKET AL)
- 13 GARAGE DOOR - (PRE-FIN WHITE)
- 14 FIBER CEMENT LAP SIDING - (REPLICA WOOD HARVARD MAPLE)
- 15 SMOOTH FIBER CEMENT HORIZONTAL LAP SIDING - (2"*)
- 16 THERMAL INSULATED METAL DOOR - (SEE COLOUR CHART PER BUILDING)
- 17 INSULATED METAL DOOR - (REPLICA WOOD FINISH HARVARD MAPLE)
- 18 ASPHALT SHINGLES - (GREY)
- 19 ARTIFICIAL LIGHTING

	BUILDING 6 & 8 ARCTIC WHITE
	BUILDING 7 LAST EMBERS
	HARVARD MAPLE

*COLOURS SHOWN IN TABLE AND ON ELEVATIONS MAY DIFFER IN TONE DUE TO GRAPHICAL REPRESENTATION.
NOTE: THESE ELEVATIONS REFLECT BUILDING F. THE OTHER TYPES ARE GENERALLY SIMILAR, HOWEVER REFER TO THE CIVIL ELEVATION GRADING FOR ANY FLOOR LEVEL CHANGES

REV	DATE	DESCRIPTION
3	2026/02	RE-ISSUED FOR BUILDING PERMIT
2	2025/10	RE-ISSUED FOR BUILDING PERMIT
1	2025/07	ISSUED FOR BUILDING PERMIT

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ISSUED BY: NZ
APPROVED: LSA
PROJECT: PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE
DRAWING: BUILDING TYPE B ELEVATIONS

PROJECT NUMBER: 23-043
DRAWING NUMBER: A3.21
SCALE: 1/8" = 1'-0"
DATE: 2025/07/30
REVISION: 2025/10/10

20257 PATTERSON AVE, MAPLE RIDGE (23-043)

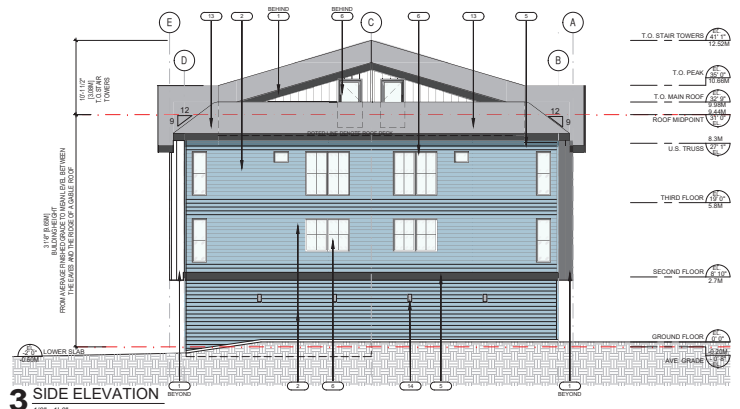
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.



1 GARAGE ELEVATION: FRONT
1/8" = 1'-0"



2 GARAGE ELEVATION: REAR
1/8" = 1'-0"



3 SIDE ELEVATION
1/8" = 1'-0"



4 SIDE ELEVATION
1/8" = 1'-0"

EXTERIOR FINISHES LEGEND

- (1) CONC. FOUNDATION - PAINTED - (IRON GRAY)
- (2) FIBER CEMENT BOARD AND BATTEN SIDING - (ARCTIC WHITE) WITH LIGHT TRIM (SLANE TRIM SYSTEM - (ANODIZED WHITE), SMOOTH FIBER CEMENT VERTICAL ARTISAN SQUARE CHANNEL SIDING - (2" x 4"))
- (3) FIBER CEMENT LAP SIDING - (SEE COLOUR CHART PER BUILDING) SMOOTH FIBER CEMENT HORIZONTAL LAP SIDING 2" x 8"
- (4) SPARE
- (5) SMART TRIM FIBER CEMENT TRIM - (COLOUR MATCHED TO SIDING)
- (6) SMART TRIM FIBER CEMENT TRIM - (MIDNIGHT BLACK)
- (7) WINDOWS & BALCONY AL. DOOR FRAMES - (ANODIZED BLACK)
- (8) THERMAL BROKEN ALUMINUM DOOR WITH GLASS - (ANODIZED BLACK)
- (9) BALCONY RAILING - (ANODIZED BLACK PICKET AL.)
- (10) GARAGE DOOR - (PRE-FIN WHITE)
- (11) FIBER CEMENT LAP SIDING - (REPLICA WOOD HARVARD MAPLE) SMOOTH FIBER CEMENT HORIZONTAL LAP SIDING 2" x 8"
- (12) THERMAL INSULATED METAL DOOR - (SEE COLOUR CHART PER BUILDING)
- (13) INSULATED METAL DOOR - (REPLICA WOOD FINISH HARVARD MAPLE)
- (14) ASPHALT SHINGLES - (GREY)
- (15) ARTIFICIAL LIGHTING

	BUILDING 1 BLUE HYDRANGEA 2062-60
	BUILDING 2 BLUE JEAN 2062-60
	BUILDING 3 BLUE DARCY 2062-40
	BUILDING 4 BLUE DANUBE 2062-30
	BUILDING 5 GENTLEMEN'S GRAY 2062-00

*COLOURS SHOWN IN TABLE AND ON ELEVATIONS MAY DIFFER IN TONE DUE TO GRAPHICAL REPRESENTATION.

REV	DATE	DESCRIPTION
3	2026/10/22	RE-ISSUED FOR BUILDING PERMIT
2	2025/07/30	RE-ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

CONSULTANT SEAL

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DRAWN BY: NZ APPROVED BY: AS

PROJECT: PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE

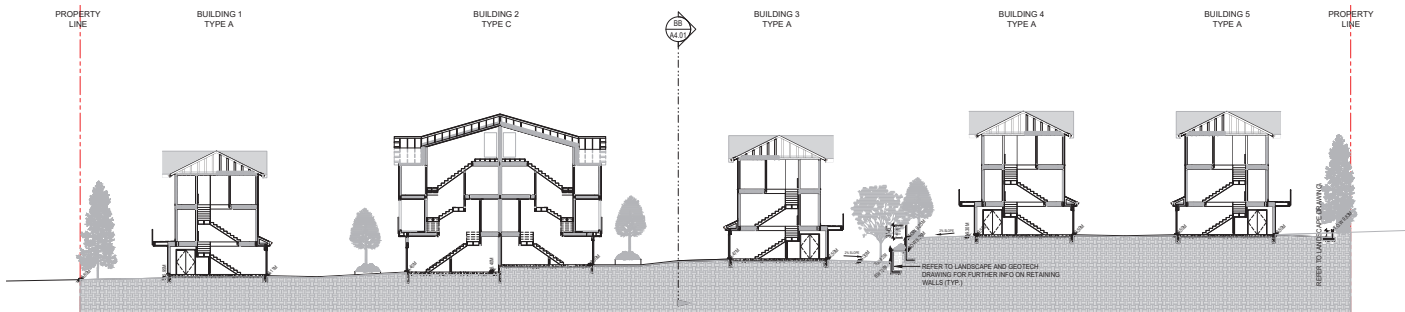
DRAWING: BUILDING TYPE C ELEVATIONS

PROJECT NUMBER: 23-043 DRAWING NUMBER: A3.31

SCALE: 1/8" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10

20257 PATTERSON AVE, MAPLE RIDGE (23-043)

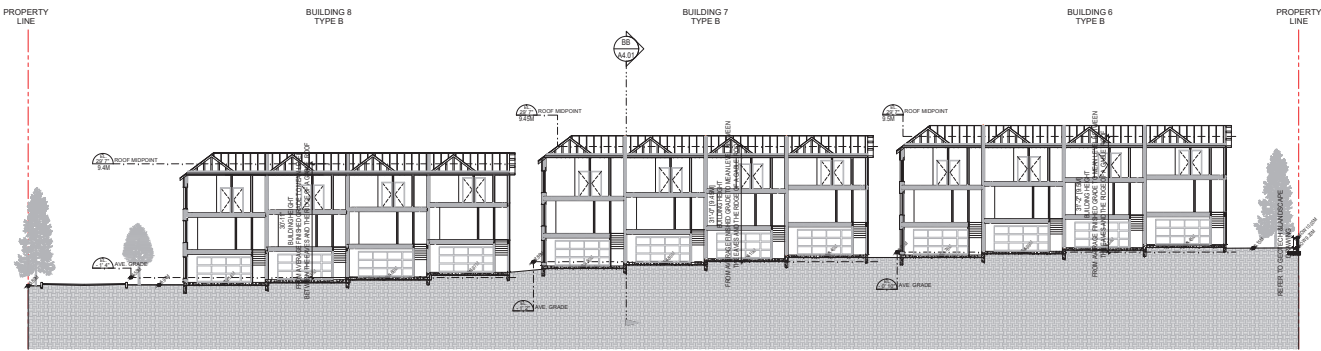
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
THIS TEXT SHOULD BE RED. FOR BEST CLARITY ENSURE THESE DRAWINGS ARE PLOTTED IN COLOUR.



AA SECTION: SITE
1/16" = 1'-0"



BB SECTION: SITE
1/16" = 1'-0"



CC SECTION: SITE
1/16" = 1'-0"

REV	DATE	DESCRIPTION
3	2026/01/22	RE ISSUED FOR BUILDING PERMIT
2	2025/10/10	RE ISSUED FOR BUILDING PERMIT
1	2025/07/30	ISSUED FOR BUILDING PERMIT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.
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DRAWN BY: [Name] APPROVED BY: AS
PROJECT: PATTERSON TOWNHOUSES
20257 PATTERSON AVE, MAPLE RIDGE

DRAWING: SITE SECTIONS

PROJECT NUMBER: 23-043 DRAWING NUMBER: A4.1
SCALE: 1/16" = 1'-0"
DATE: 2025/07/30 REGION: 2025/10/10

20257 PATTERSON AVE, MAPLE RIDGE (23-043)