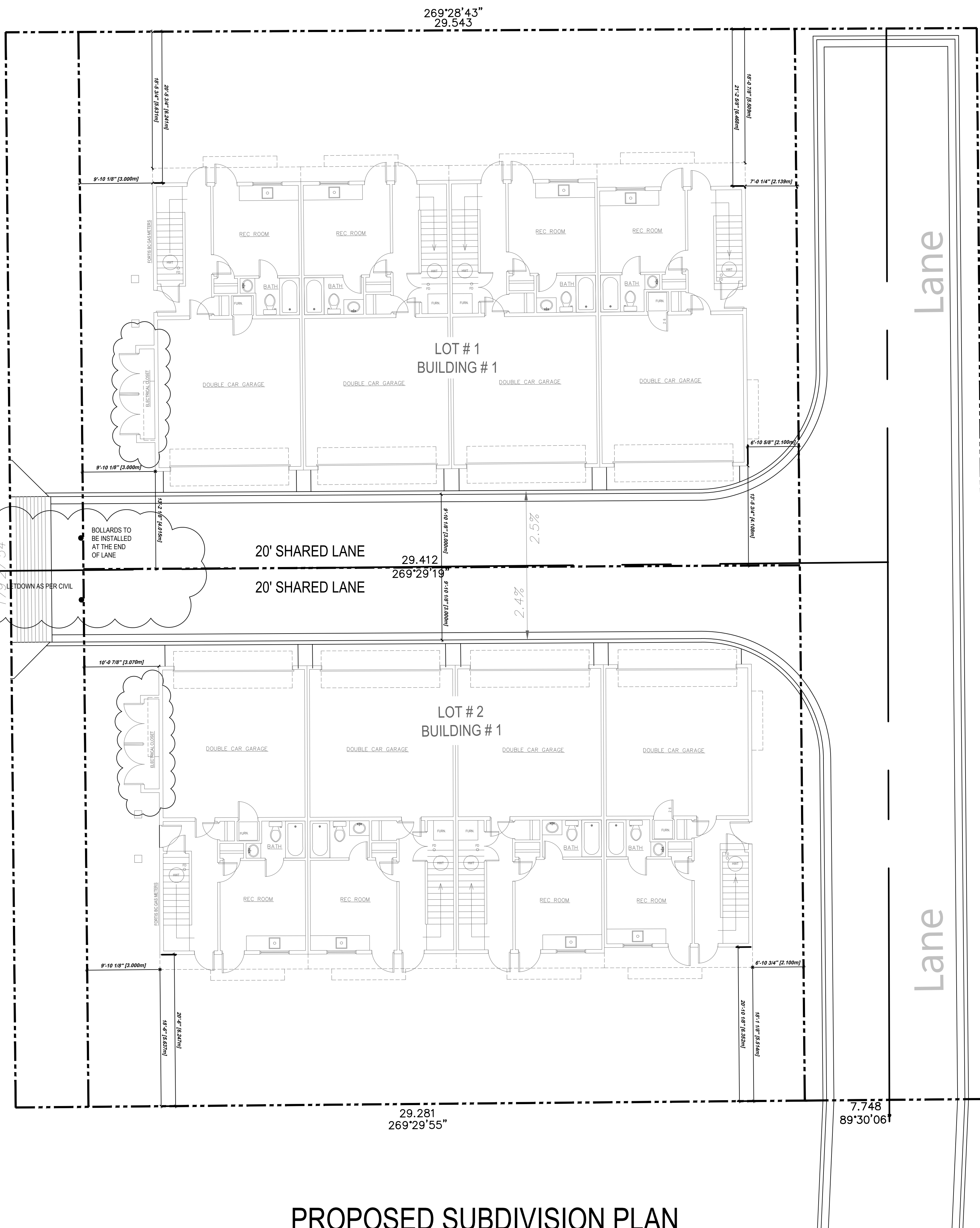


228 STREET

Lane

Lane



**PROPOSED SUBDIVISION PLAN**

1/8" = 1'-0"

PROJECT DESCRIPTION		
CIVIC ADDRESS	12274, 12276 & 12278 228 ST, MAPLE RIDGE	
LEGAL DESCRIPTION	LOT 290, PLAN NWP44873, SECTION 20, TOWNSHIP 2, GROUP 1, NEW WESTMINSTER LAND DISTRICT	
P.I.D.	007-604-513	
EXISTING ZONING	RS 1	
PROPOSED ZONING	RUR URBAN INFILL RESIDENTIAL	
SITE INFORMATION		
	SQUARE METERS	SQUARE FEET
SITE AREA EXISTING	1768.85 M <sup>2</sup>	19040.37 SF
SITE AREA PROPOSED	1306.90 M <sup>2</sup>	14067.77 SF

DEVELOPMENT REGULATIONS		
CRITERIA	RUR ZONE REQUIREMENT	PROPOSED
BUILDING HEIGHT	9.5 M	TBD
FRONT YARD (WEST) VARIANCE REQUIRED	5.5 M	3.0 M
SIDE YARD SETBACK (NORTH)	1.2 M	5.5 M
SIDE YARD SETBACK (SOUTH)	1.2 M	4.149 M
REAR YARD SETBACK (EAST) VARIANCE REQUIRED	6.0 M	2.0 M
FSR	N/A	N/A
OUTDOOR AMENITY AREA	45.0 M <sup>2</sup>	45.0 M <sup>2</sup>

PARKING REQUIREMENTS			
MINIMUM PARKING REQUIREMENTS	REQUIRED		PROVIDED
	RESIDENTS PARKING SPOTS REQUIRED PER UNIT	2 X 8 UNITS	2 X 8 UNITS
	TOTAL	16	16 PARKING SPOTS IN GARAGE

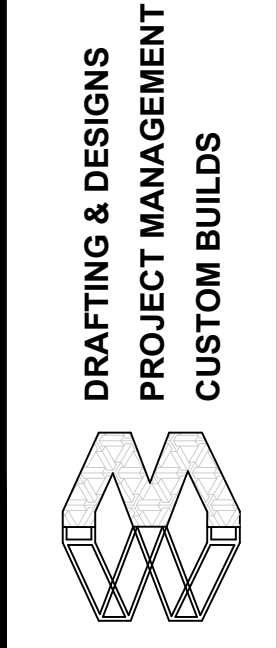
**LOT #1**  
SITE DETAILS:

LOT SIZE: 7037.23 SF (653.76 M<sup>2</sup>)  
 LOT COVERAGE @ 50% = 3518.62 SF (326.88 M<sup>2</sup>)  
 LOT COVERAGE PROPOSED = 3137.40 SF (291.46 M<sup>2</sup>)

**LOT #2**  
SITE DETAILS:

LOT SIZE: 7048.29 SF (654.79 M<sup>2</sup>)  
 LOT COVERAGE @ 50% = 3524.14 SF (327.39 M<sup>2</sup>)  
 LOT COVERAGE PROPOSED = 3145.31 SF (292.20 M<sup>2</sup>)

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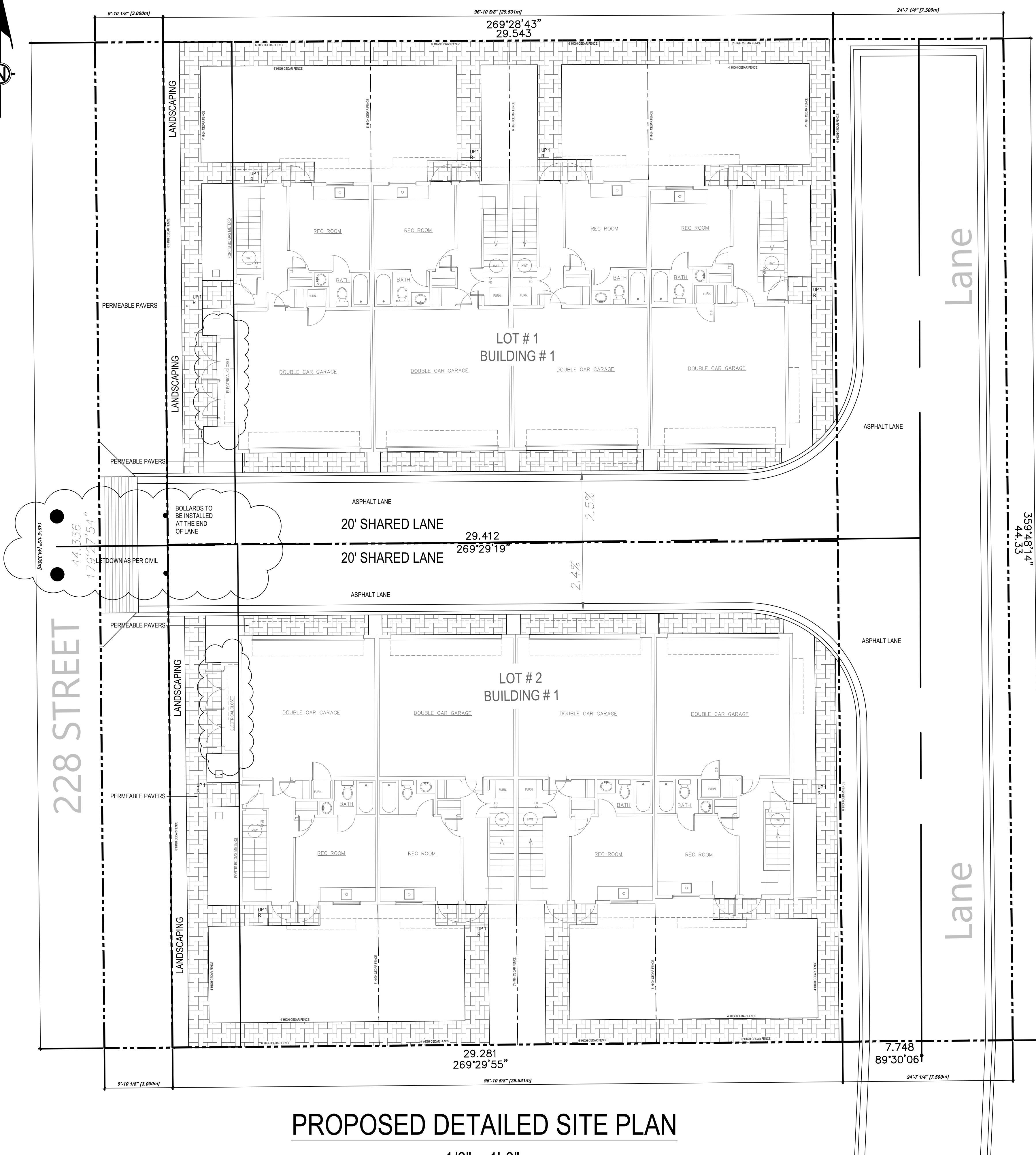
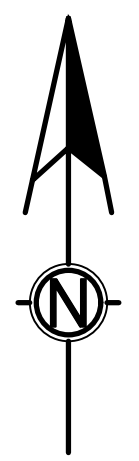


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 INDERPAL MANN  
 778 999 6021

PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

DATE: 26-09-2025	TITLE: SITE PLAN
DRAWER: INDERPAL	
SCALE: AS NOTED	
REV: 26-11-2025	
DRAWING NO. A 0	

THESE PLANS CONFORM TO THE  
 B.C. BLDG. CODE 2018 EDITION



**PROPOSED DETAILED SITE PLAN**

1/8" = 1'-0"

**GENERAL NOTES:**

1. FOLLOWING NOTED ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED DRAWINGS.
2. PURPOSE OF THESE DRAWINGS TO OBTAIN THE BUILDING PERMIT ONLY. IF CITY REQUIRES, DESIGNER PROVIDES ADDITIONAL DETAILS TO OBTAIN BUILDING PERMIT.
3. CONSTRUCTION DETAILS REQUIRED AFTER BUILDING PERMIT OBTAINED WILL BE ADDITIONAL CHARGE TO CLIENT.
4. CONTRACTOR/ SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, SETBACKS AND INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO DESIGNER.
5. CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE AND WCB PAYMENTS.
7. OPENING SIZES FOR MANUFACTURED COMPONENTS ARE NOMINAL SIZES ONLY. VERIFY WITH SUPPLIER OR MANUFACTURER.
8. PROVIDE ALUMINUM/ GALVANIZED METAL FLASHING OVER ALL EXTERIOR OPENING, DOORS WINDOWS, PARAPETS, ROOF CURBS AND AROUND ALL THE ROOF PENETRATIONS.
9. CAULK AND SEAL ALL EXTERIOR WALL PENETRATIONS.
10. PROVIDE FIRE STOPPING IN ALL CONCEALED SPACES AS REQUIRED. EXPOSED CONSTRUCTION MATERIALS TO HAVE ADEQUATE FLAME SPREAD RATING.
11. ALL WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH CONTINUOUS CLOSED CELL POLYETHYLENE DAMP PROOFING STRIP.
12. PROVIDE MINIMUM 8" CLEARANCE BETWEEN FINISHED GRADE AND STUCCO, WOOD OR OTHER DEGRADABLE FINISHES.
13. ALL GLAZING EXTENDING LESS THAN 12" ABOVE FINISHED FLOOR SHALL BE TEMPERED GLASS.
14. ALL SIDE LIGHTS EXTENDING TO THE ENTRANCE DOORS TO HAVE TEMPERED GLAZING.
15. CEILING INSULATION (IF REQUIRED) SHALL NOT OBSTRUCT SOFFIT VENTILATION. STOPS OR OTHER METHODS SHALL BE USED TO MAINTAIN A MIN. 2" CLEARANCE BETWEEN INSULATION AND UNDERSIDE OF ROOF ASSEMBLY.
16. DESIGNER IS NOT LIABLE TO ANY TYPE OF LIABILITY FOR ERRORS IN PLANS. ALL PLANS ARE FINALIZED AFTER DETAILED DISCUSSION WITH CONTRACTOR/ OWNER.
17. ALL THE WORK CARRIED OUT SHALL CONFORM TO PART 9 OF THE BC BUILDING CODE 2024 INCLUDING ALL SUPPLEMENT AMENDMENTS AND / OR APPLICABLE BYLAWS AND REGULATIONS OF THE LOCAL AUTHORITIES HAVING JURISDICTION.
18. BUILDER/ OWNER TO ENSURE GRAVITY OF STORM AND SANITARY TO CONNECT WITH CITY SERVICES.
19. ALL PARALLAM BEAMS, HANGERS AND TRUSSES ARE TO BE ENGINEERED TRUSSES AS PER MANUFACTURER.
20. ALL SMOKE ALARMS TO BE INTERCONNECTED A/C.
21. ATTIC HATCH TO BE WEATHER-STRIPPED.
22. PROPOSED UNITS TO HAVE FORCED AIR HEATING
23. ALL UNITS TO HAVE THEIR INDIVIDUAL SPRINKLER SYSTEMS
24. ALL UNITS TO HAVE THEIR OWN INDIVIDUAL GARBAGE AND RECYCLING BINS

**LANDSCAPING REQUIREMENTS**

**LOT #1:**

TOTAL AREA: 717.20 SF (66.63 M<sup>2</sup>)  
 50% REQUIRED: 358.60 SF (33.32 M<sup>2</sup>)  
 PROPOSED: 582.41 SF (54.11 M<sup>2</sup>)

**LOT #2:**

TOTAL AREA: 725.78 SF (67.43 M<sup>2</sup>)  
 50% REQUIRED: 362.89 SF (33.71 M<sup>2</sup>)  
 PROPOSED: 587.76 SF (54.60 M<sup>2</sup>)

**PERMEABLE SURFACE REQUIREMENTS**

**LOT #1:**

TOTAL AREA: 7035.90 SF (653.21 M<sup>2</sup>)  
 40% REQUIRED: 2814.36 SF (261.45 M<sup>2</sup>)  
 PROPOSED: 2864.63 SF (266.12 M<sup>2</sup>)

**LOT #2:**

TOTAL AREA: 7029.11 SF (653.00 M<sup>2</sup>)  
 40% REQUIRED: 2811.64 SF (261.20 M<sup>2</sup>)  
 PROPOSED: 2872.05 SF (266.81 M<sup>2</sup>)

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 PROJECT MANAGEMENT  
 CUSTOM BUILDS

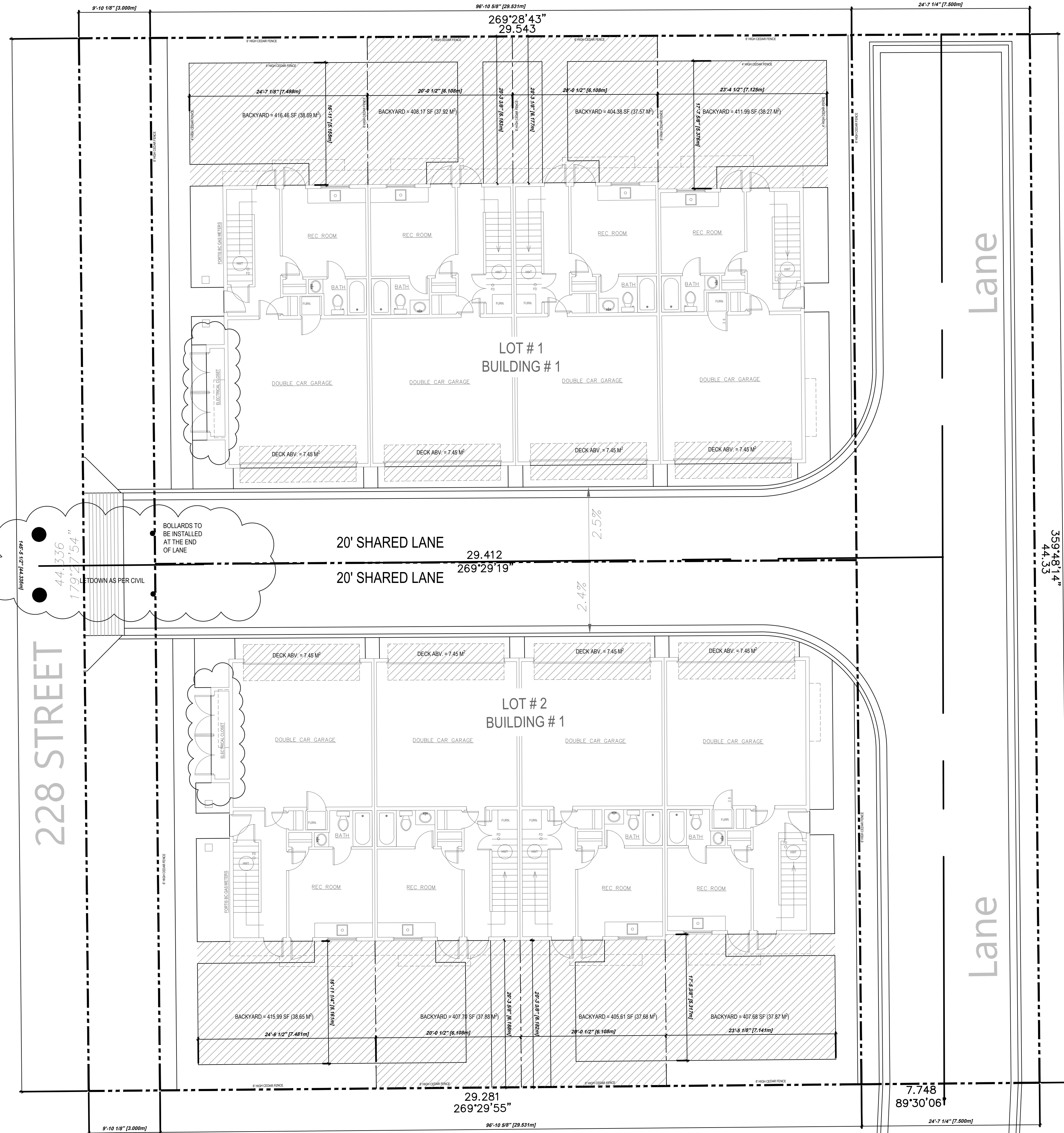
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 INDEP. MANN  
 778 999 6021

PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE:  
 SITE PLAN

DATE: 26-09-2025  
 DRAWER: INDEP. MANN  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 1



# OUTDOOR PRIVATE AMENITY AREA PLAN

1/8" = 1'-0"

## PRIVATE OUTDOOR AMENITY AREAS

### LOT #1:

- UNIT #1: 496.65 SF (46.14 M<sup>2</sup>)
- UNIT #2: 488.36 SF (45.37 M<sup>2</sup>)
- UNIT #3: 484.59 SF (45.02 M<sup>2</sup>)
- UNIT #4: 492.13 SF (45.72 M<sup>2</sup>)

### LOT #2:

- UNIT #1: 496.22 SF (46.10 M<sup>2</sup>)
- UNIT #2: 487.93 SF (45.33 M<sup>2</sup>)
- UNIT #3: 485.78 SF (45.13 M<sup>2</sup>)
- UNIT #4: 487.82 SF (45.32 M<sup>2</sup>)

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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE:  
 SITE PLAN

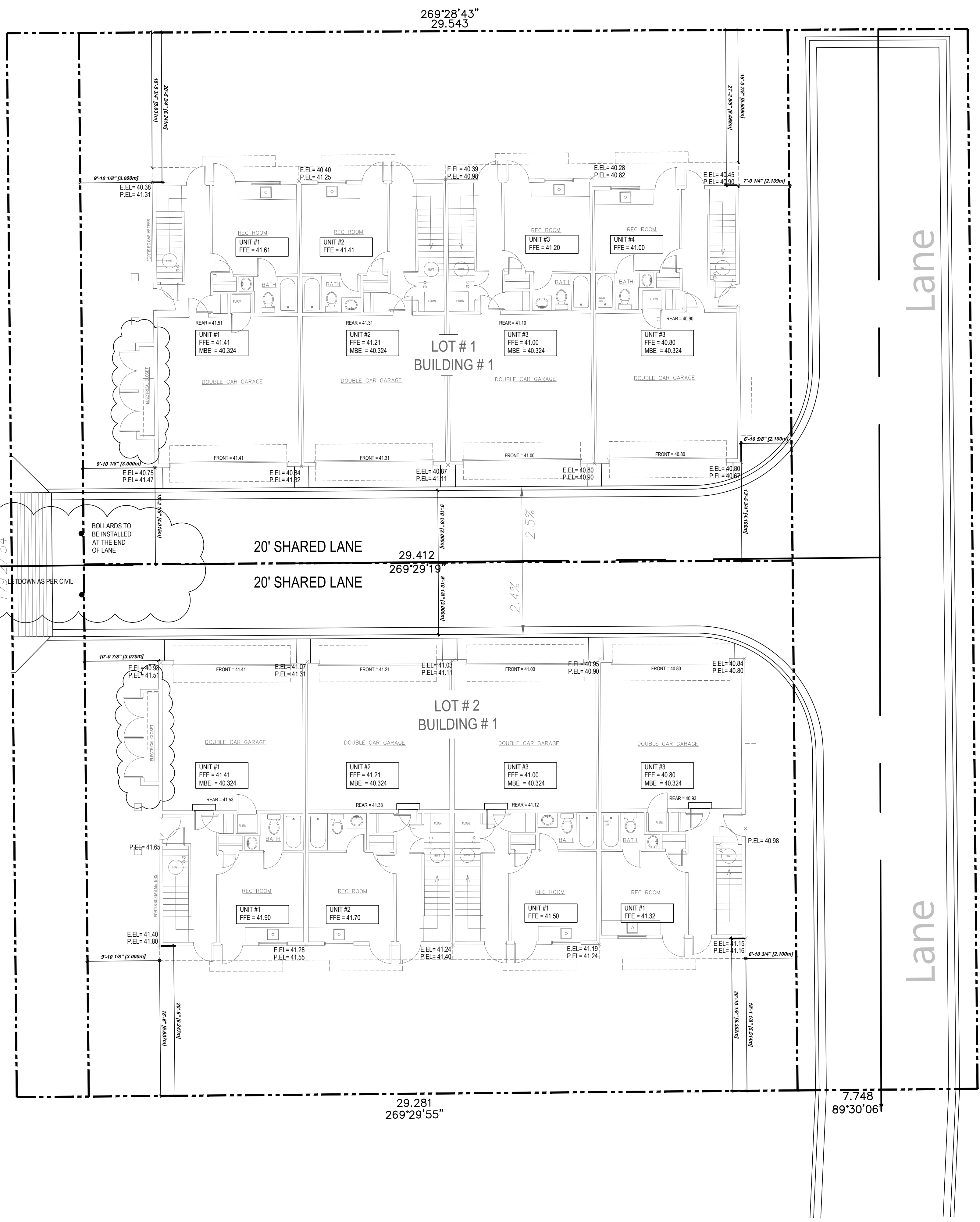
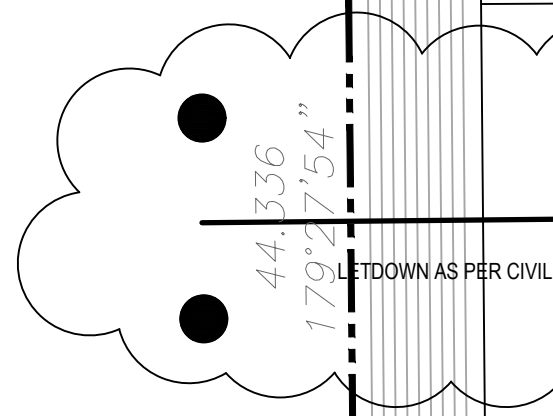
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 DRAWER: INDEP. MANN  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 2

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228 STREET



# GRADING SITE PLAN

1/8" = 1'-0"

Lane

Lane

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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE:  
 SITE PLAN

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

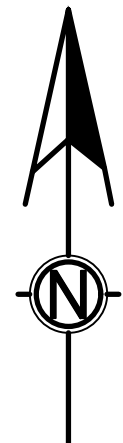
DRAWING NO.  
 A 3

9'-10 1/8" [3.000m]

96'-10 5/8" [29.531m]

24'-7 1/4" [7.500m]

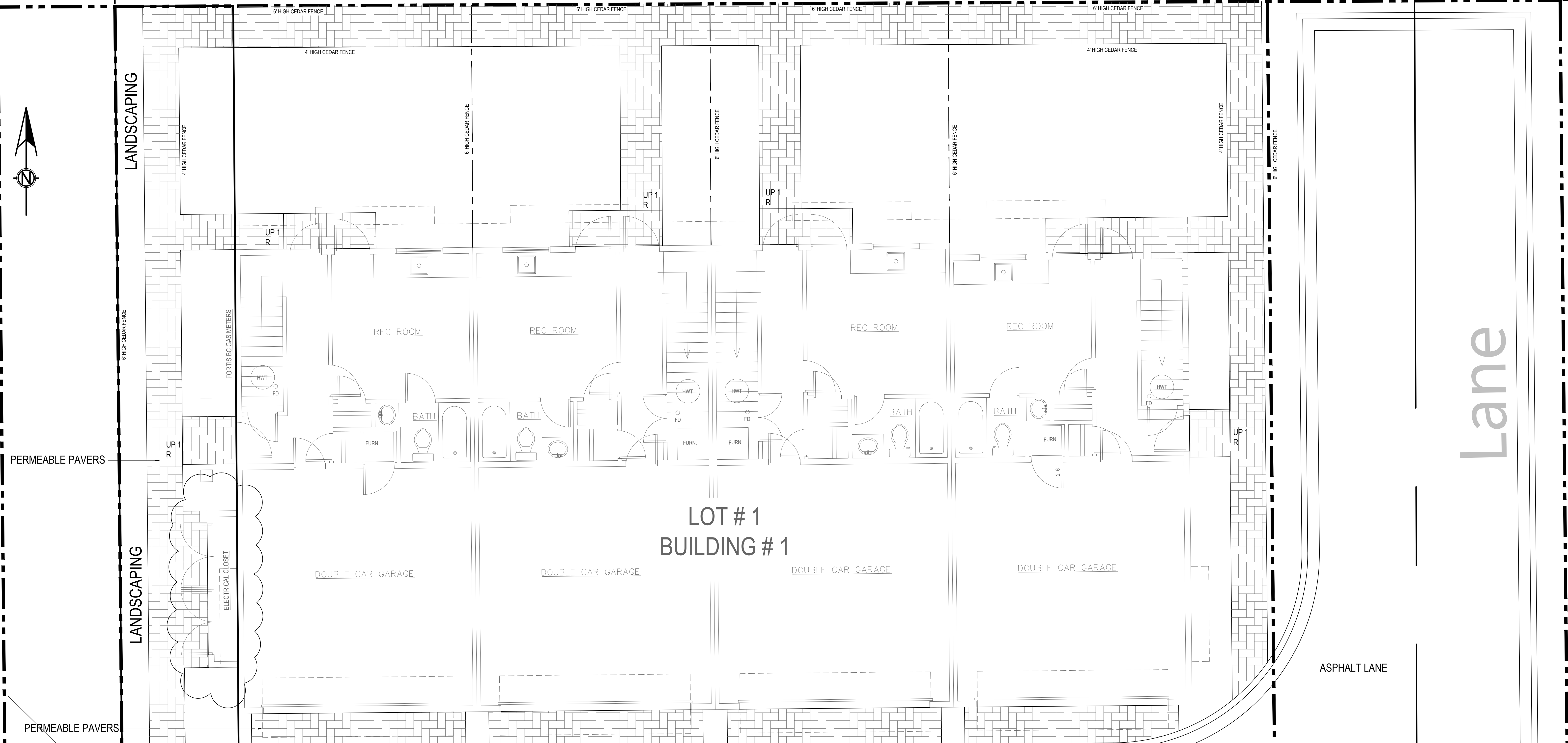
269°28'43"  
29.543



LANDSCAPING

LANDSCAPING

Lane



LOT # 1  
BUILDING # 1

DOUBLE CAR GARAGE

DOUBLE CAR GARAGE

DOUBLE CAR GARAGE

DOUBLE CAR GARAGE

REC ROOM

REC ROOM

REC ROOM

REC ROOM

BATH

BATH

BATH

BATH

FURN.

FURN.

FURN.

FURN.

FURN.

FURN.

UP 1  
R

UP 1  
R

UP 1  
R

UP 1  
R

FORTIS BC GAS METERS

ELECTRICAL CLOSET

PERMEABLE PAVERS

PERMEABLE PAVERS

20' SHARED LANE

20' SHARED LANE

ASPHALT LANE

ASPHALT LANE

PROPOSED DETAILED SITE PLAN - LOT 1

1/4" = 1'-0"

29.412

269°29'19"

2.5%  
2.4%

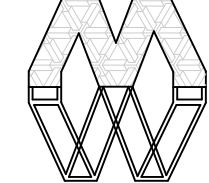
BOLLARDS TO BE INSTALLED AT THE END OF LANE

LETDOWN AS PER CIVIL

THESE PLANS CONFORM TO THE B.C. BLDG. CODE 2024 EDITION

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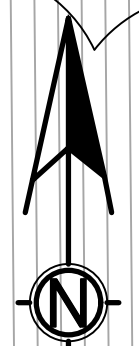
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PROPOSED DEVELOPMENT  
AT 12274 228 ST,  
MAPLE RIDGE, B.C.

TITLE:  
SITE PLAN  
LOT 1

DATE: 26-09-2025  
DRAWN: INDERPAL  
SCALE: AS NOTED  
REV: 26-11-2025

DRAWING NO.  
A 4



BOLLARDS TO BE INSTALLED AT THE END OF LANE

ASPHALT LANE  
20' SHARED LANE

29.412

20' SHARED LANE

269°29'19"

2.4%

2.5%

### PROPOSED DETAILED SITE PLAN - LOT 2

1/4" = 1'-0"

ASPHALT LANE

ASPHALT LANE

## LOT # 2 BUILDING # 1

DOUBLE CAR GARAGE

DOUBLE CAR GARAGE

DOUBLE CAR GARAGE

DOUBLE CAR GARAGE

REC ROOM

REC ROOM

REC ROOM

REC ROOM

BATH

BATH

BATH

FURN.

FURN.

FURN.

UP 1  
R

UP 1  
R

ELECTRICAL CLOSET

FORTIS BC GAS METERS

PERMEABLE PAVERS

PERMEABLE PAVERS

LANDSCAPING

LANDSCAPING

6' HIGH CEDAR FENCE

4' HIGH CEDAR FENCE

4' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

4' HIGH CEDAR FENCE

6' HIGH CEDAR FENCE

9'-10 1/8" [3.000m]

29.281  
269°29'55"

96'-10 5/8" [29.531m]

7.748  
89°30'06"

24'-7 1/4" [7.500m]

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44.55

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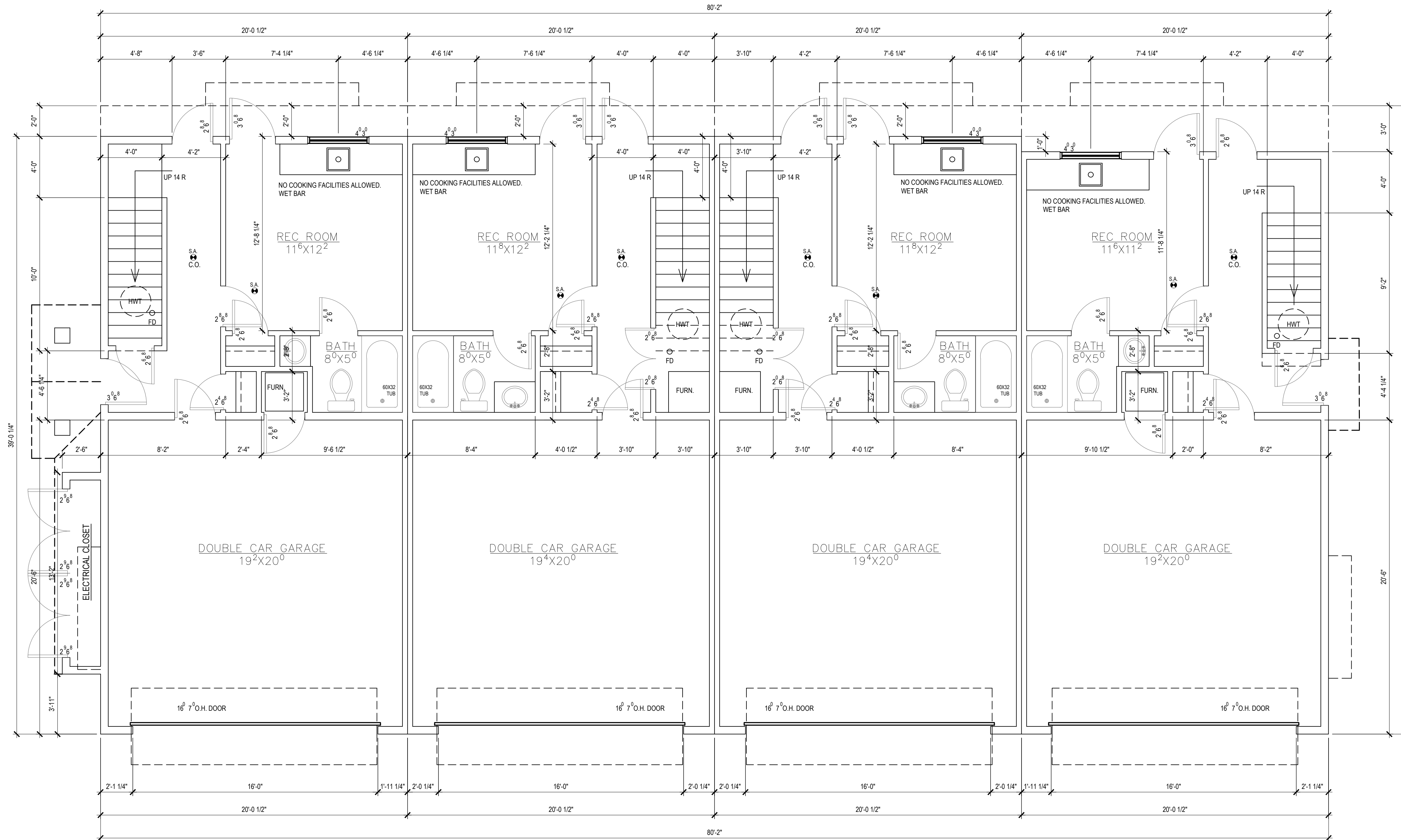
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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE:  
 SITE PLAN  
 LOT 2

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 5



**UNIT #1**  
 LOWER FLOOR = 781.86 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #2**  
 LOWER FLOOR = 781.86 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #3**  
 LOWER FLOOR = 781.86 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #4**  
 LOWER FLOOR = 761.82 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

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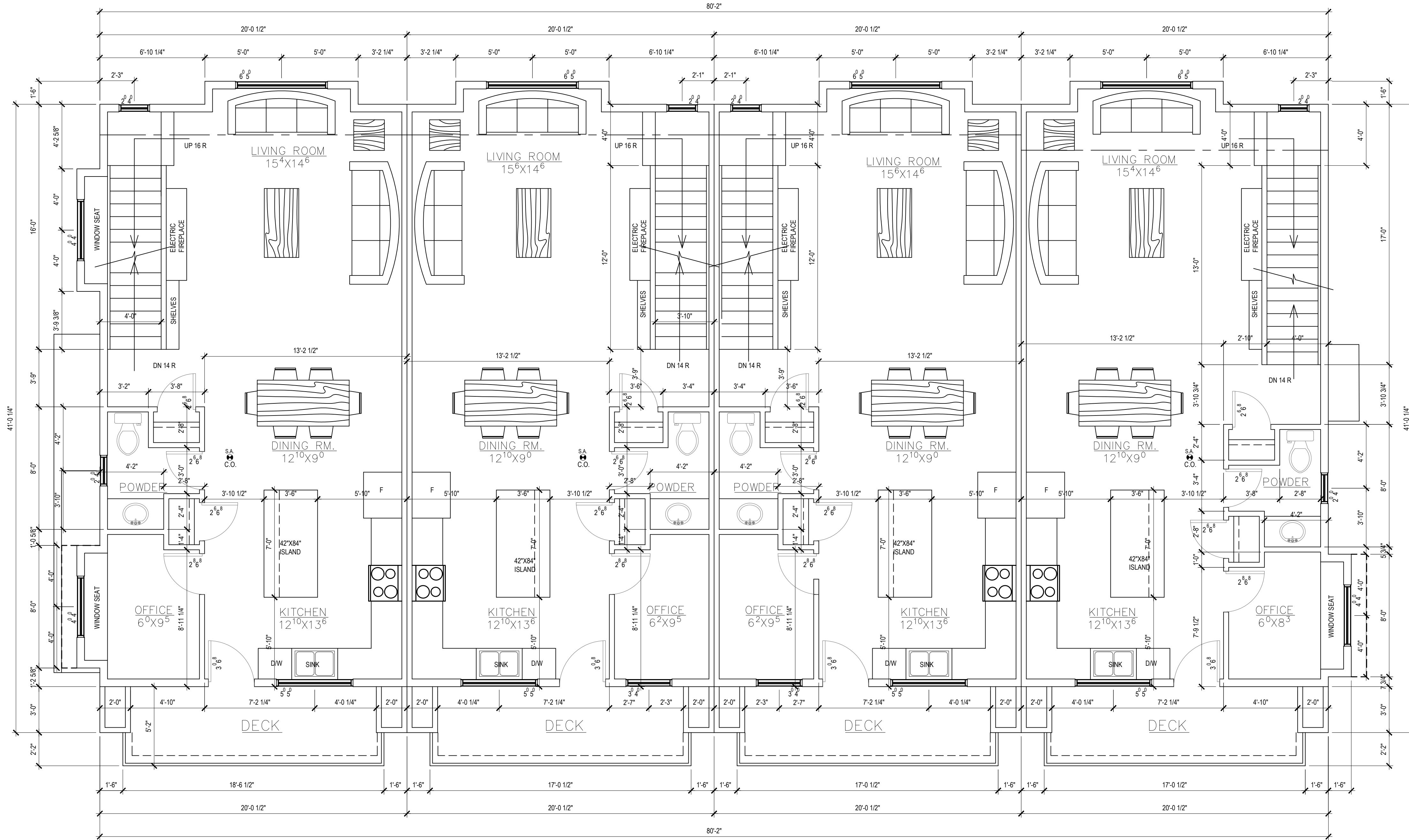
MANN PACIFIC HOMES LTD  
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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE: LOT #1  
 LOWER FLOOR

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 6



**UNIT #1**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #2**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #3**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #4**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

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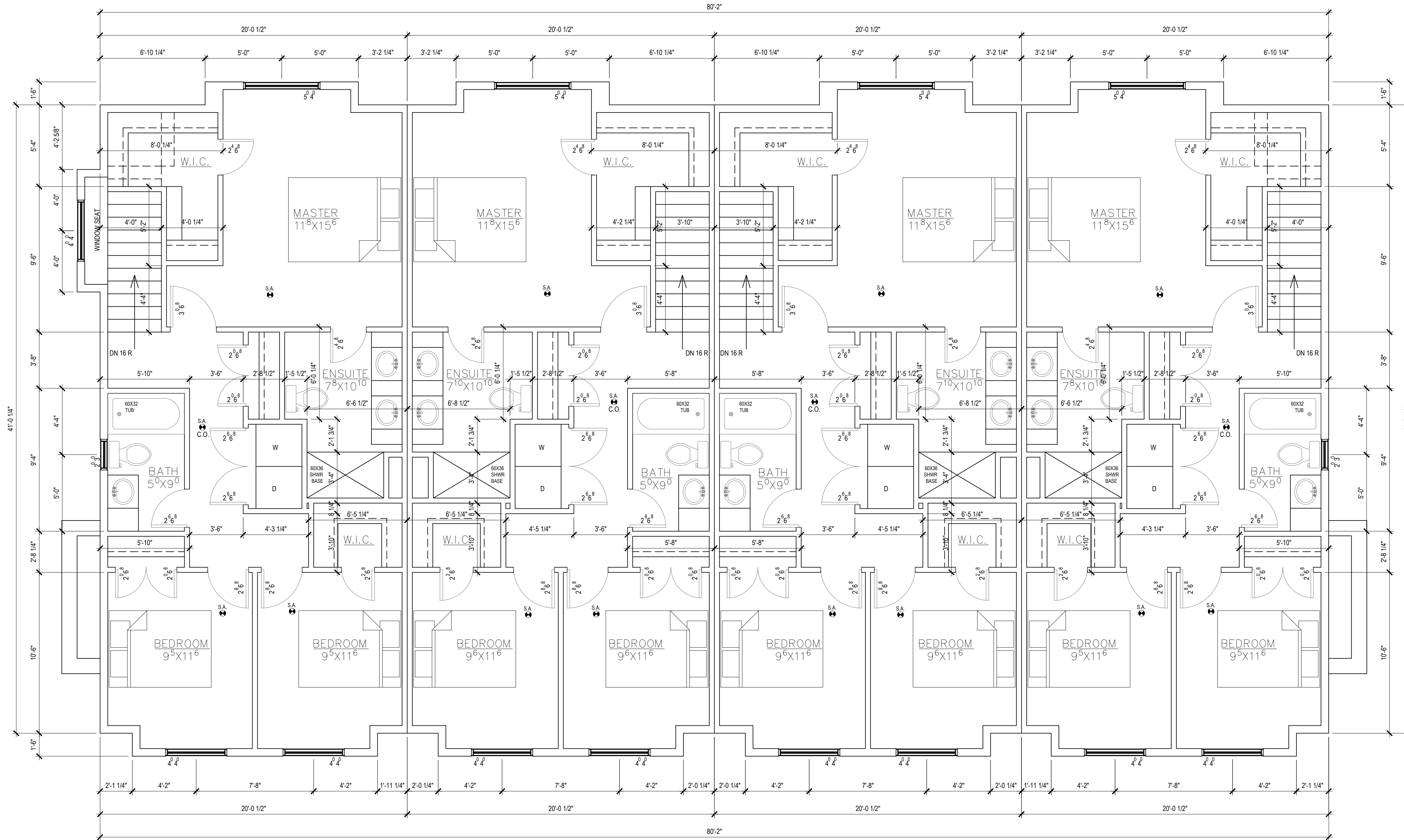
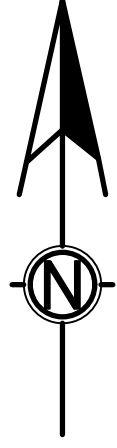
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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE: LOT #1  
 MAIN FLOOR

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 7



**UNIT #1**  
 TOP FLOOR = 828.94 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #2**  
 TOP FLOOR = 828.92 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #3**  
 TOP FLOOR = 828.92 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #4**  
 TOP FLOOR = 828.92 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

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DRAFTING & DESIGNS  
 PROJECT MANAGEMENT  
 CUSTOM BUILDS

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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE: LOT #1  
 TOP FLOOR

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 8



SOUTH ELEVATION  
1/4" = 1'-0"

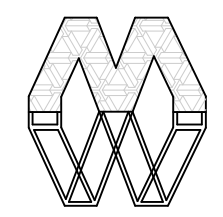


NORTH ELEVATION  
1/4" = 1'-0"

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PROJECT MANAGEMENT  
CUSTOM BUILDS



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INDERPAL MANN  
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PROPOSED DEVELOPMENT  
AT 12274 228 ST,  
MAPLE RIDGE, B.C.

TITLE: LOT #1  
ELEVATIONS

DATE: 26-09-2023  
DRAWER: IINDERPAL  
SCALE: AS NOTED  
REV: 26-09-2026

DRAWING NO.

A 9



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PROJECT MANAGEMENT  
CUSTOM BUILDS

MANN PACIFIC HOMES LTD  
INDERPAL MANN  
778 999 6021

PROPOSED DEVELOPMENT  
AT 12274 228 ST,  
MAPLE RIDGE, B.C.

TITLE: LOT #1  
ELEVATIONS

DATE: 26-09-2023	DRAWER: INDERPAL
SCALE: AS NOTED	REV: 26-01-2026

DRAWING NO. A 10

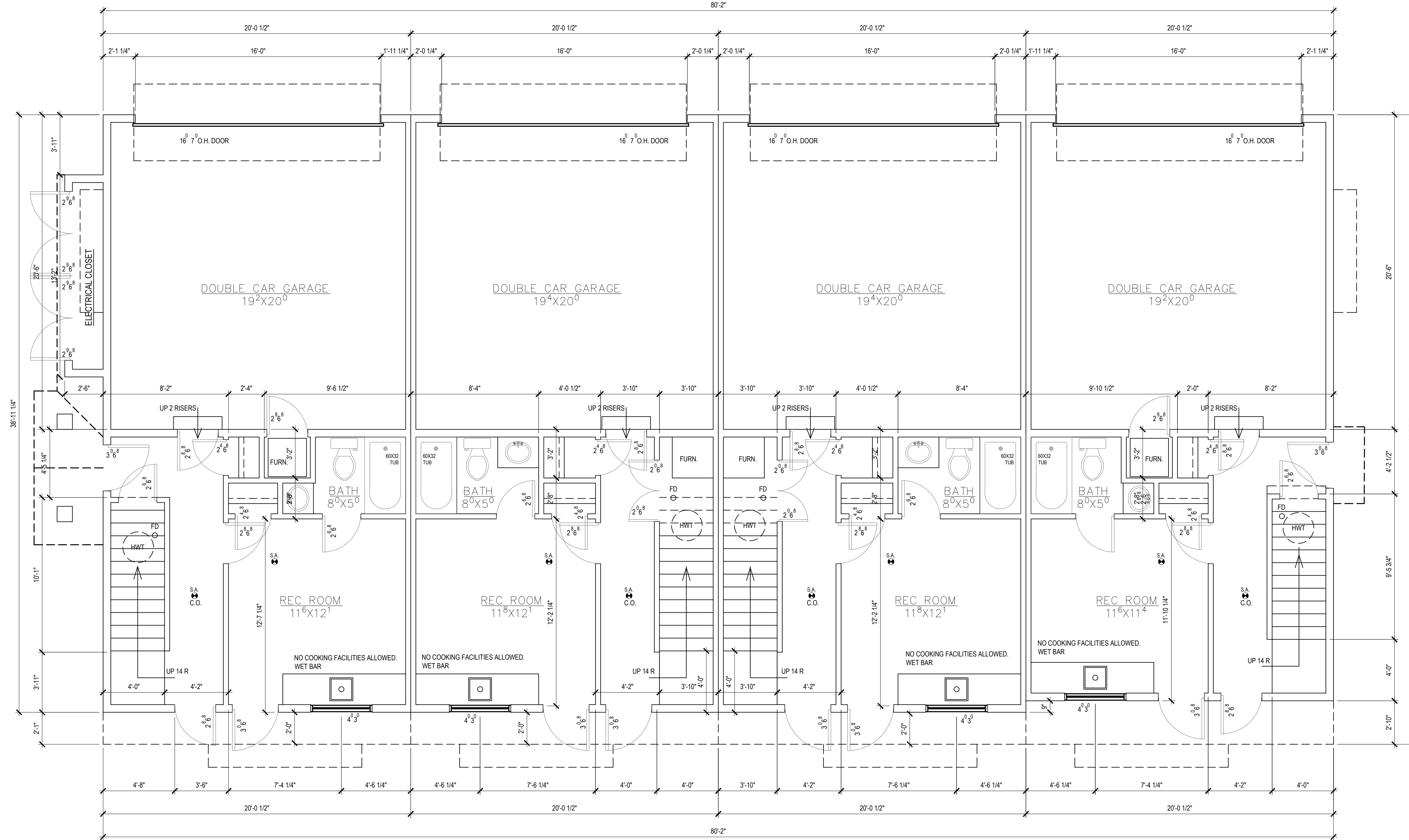


**UNIT #1**  
 LOWER FLOOR = 780.19 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #2**  
 LOWER FLOOR = 780.19 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #3**  
 LOWER FLOOR = 780.19 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

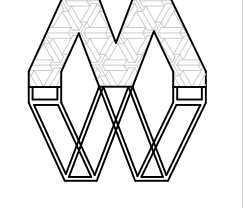
**UNIT #4**  
 LOWER FLOOR = 765.16 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"



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 CUSTOM BUILDS



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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE:  
 LOT #2  
 LOWER FLOOR

DATE: 26-09-2025  
 DRAWER: INDEPENDAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 11

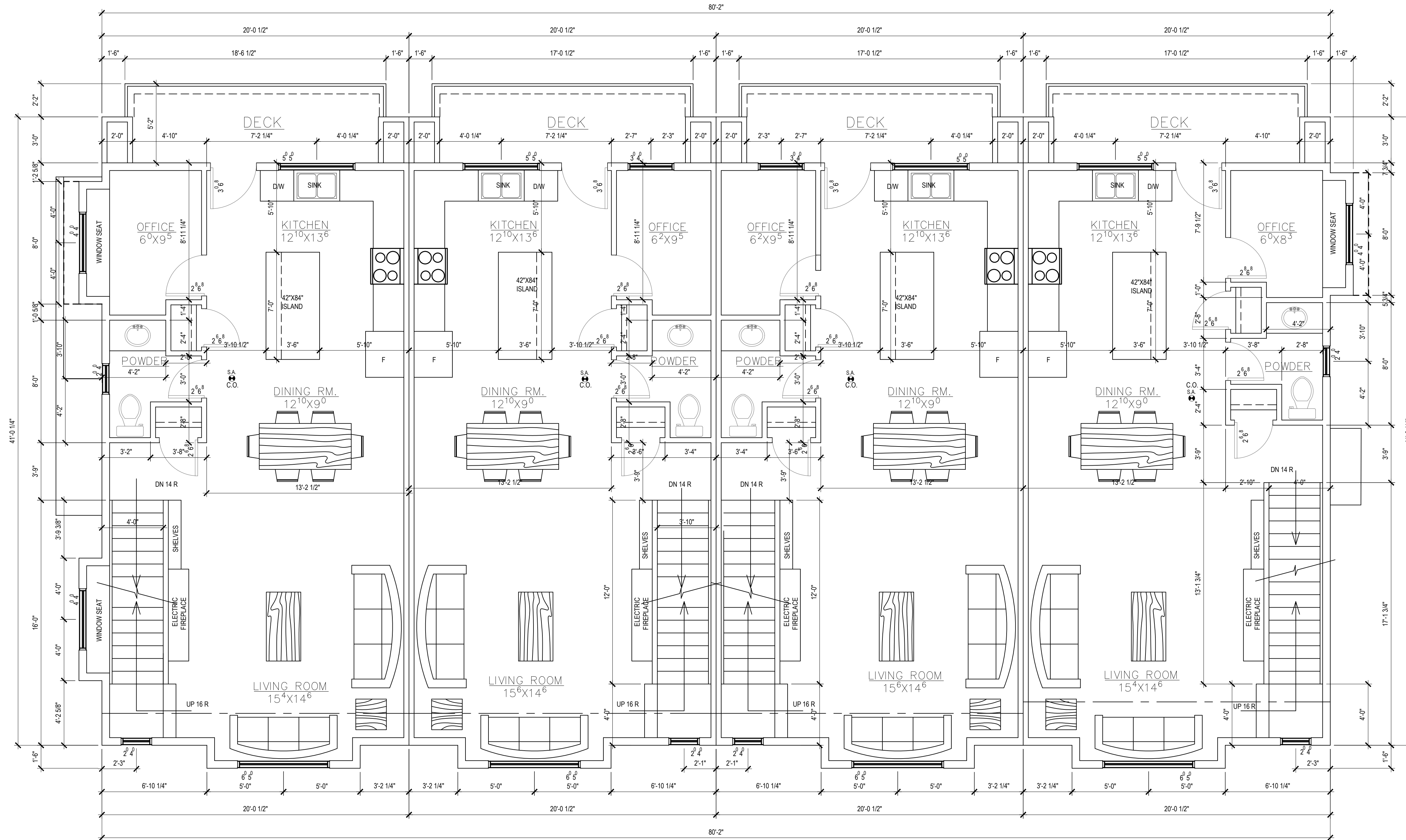


**UNIT #1**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #2**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #3**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #4**  
 MAIN FLOOR = 776.81 SF  
 (9'-0" CEILING)  
 1/4" = 1'-0"



THESE PLANS CONFORM TO THE  
 B.C. BLDG. CODE 2018 EDITION

**MANN PACIFIC HOMES LTD.**  
 8594 145A STREET SURREY, B.C. V3S 2Z2  
 MANNHOMES@HOTMAIL.COM PHONE: 778-999-6021

DRAFTING & DESIGNS  
 PROJECT MANAGEMENT  
 CUSTOM BUILDS

MANN PACIFIC HOMES LTD  
 INDERPAL MANN  
 778 999 6021

PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE:  
 LOT #2  
 MAIN FLOOR

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 12

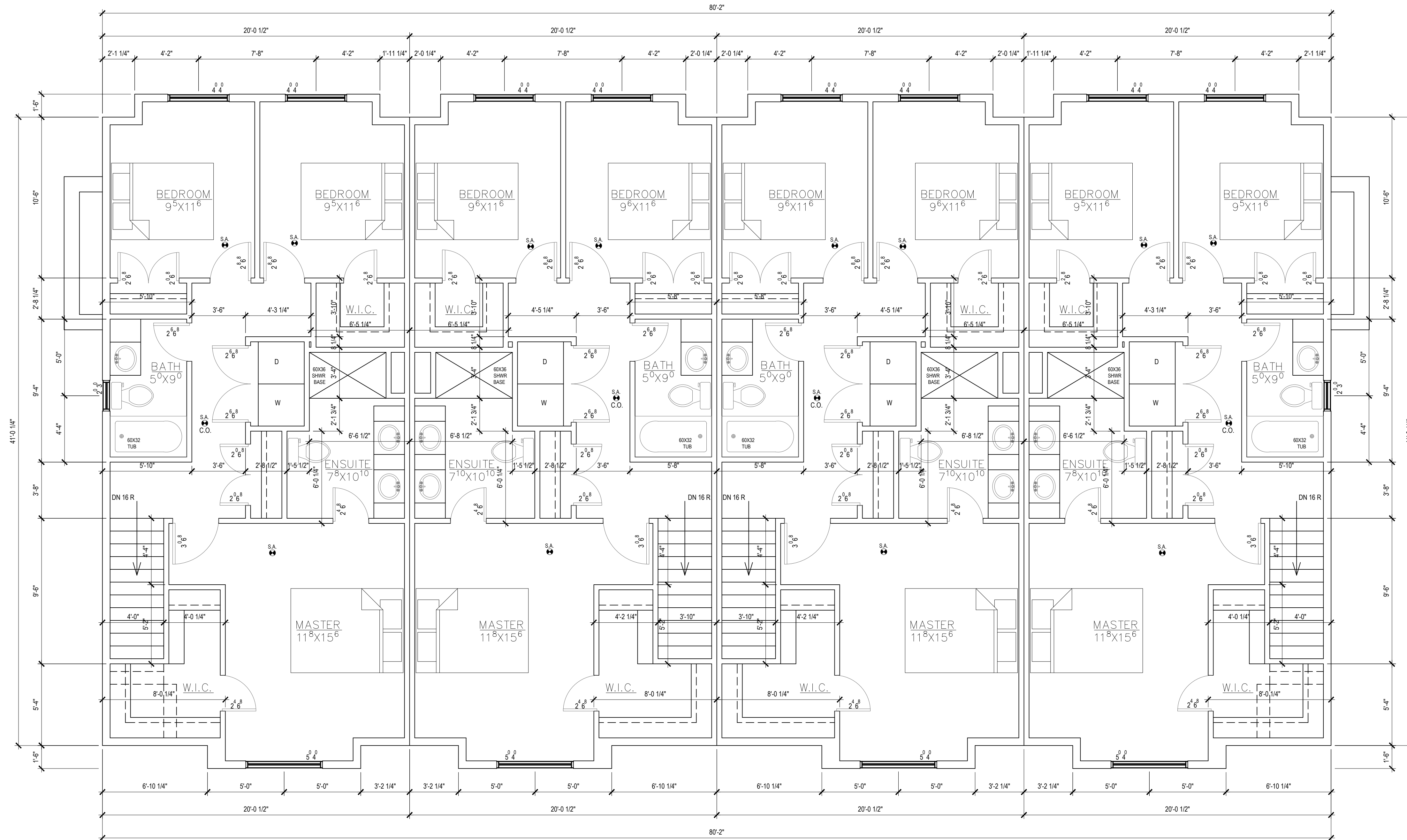


**UNIT #1**  
 TOP FLOOR = 828.94 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #2**  
 TOP FLOOR = 828.92 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #3**  
 TOP FLOOR = 828.92 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"

**UNIT #4**  
 TOP FLOOR = 828.92 SF  
 (8'-0" CEILING)  
 1/4" = 1'-0"



THESE PLANS CONFORM TO THE  
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PROPOSED DEVELOPMENT  
 AT 12274 228 ST,  
 MAPLE RIDGE, B.C.

TITLE: LOT #2  
 TOP FLOOR

DATE: 26-09-2025  
 DRAWER: INDERPAL  
 SCALE: AS NOTED  
 REV: 26-11-2025

DRAWING NO.  
 A 13



THESE PLANS CONFORM TO THE  
B.C. BLDG. CODE 2018 EDITION



E.EL= 40.98  
P.EL= 41.51

EAST ELEVATION (228 ST)  
1/4" = 1'-0"

E.EL= 41.42  
P.EL= 41.80



E.EL= 41.19  
P.EL= 41.16

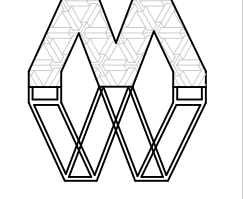
WEST ELEVATION (LANE)  
1/4" = 1'-0"

E.EL= 40.84  
P.EL= 40.80

THESE PLANS CONFORM TO THE  
B.C. BLDG. CODE 2018 EDITION

**MANN PACIFIC HOMES LTD.**  
8594 145A STREET SURREY, B.C. V3S 2Z2  
MANNHOMES@HOTMAIL.COM PHONE: 778-999-6021

DRAFTING & DESIGNS  
PROJECT MANAGEMENT  
CUSTOM BUILDS



MANN PACIFIC HOMES LTD  
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778 999 6021

PROPOSED DEVELOPMENT  
AT 12274 228 ST,  
MAPLE RIDGE, B.C.

TITLE: LOT #2  
ELEVATIONS

DATE: 26-09-2023  
DRAWER: INDERPAL  
SCALE: AS NOTED  
REV: 26-01-2026

DRAWING NO.  
A 15